

AGENDA
SARTELL CITY COUNCIL
Monday, July 13, 2015
Sartell City Hall
6:00 P.M.

.....

1. PLEDGE OF ALLEGIANCE

2. AGENDA REVIEW AND ADOPTION

3. OPEN FORUM/PUBLIC COMMENT *(up to 5 speakers allowed for up to 3 minutes each – no Council response or action is given to open forum comments other than possible referral to City staff or a City Board/Commission)*

4. SPECIAL PRESENTATIONS

- a. Ehlers Bond Sale Report
-Related Action: Resolution Awarding Sale of Bonds
- b. Community Center Update & Discussion

5. APPROVAL OF CITY COUNCIL MINUTES

- a. June 22, 2015 – Special Meeting
- b. July 7, 2015 – Special Meeting

6. CONSENT AGENDA

- a. June Building Permit Activity Report – Acceptance
- b. June Inspections Activity Report – Acceptance
- c. June Technology Report – Acceptance
- d. June Fire Department Report – Acceptance
- e. Approval of voucher payments
- f. Approval of Park Commission recommendations
- g. Approval of Resolution Allowing Charter Channel Relocation
- h. Approval of off sale 3.2% liquor license
- i. Approval of Resolution Appointing Fire Chief
- j. Approval of Mill Art Project Cement Contract
- k. Approval of Resolution Awarding Pinecone Road phase 2 bids
- l. Approval of MNDOT Agreement Resolution
- m. Approval of Roundabout Landscape Design Services
- n. Approval of Resolution Accepting Donations
- o. Approval of temporary on sale liquor license
- p. Approval of fund transfers
- q. Approval of 1st Street Bridge Lights proposal
- r. Park Commission Appointment

7. PUBLIC HEARINGS

- a. Land Use Amendment and Rezoning - Yarmon/Diverse Properties LLC/Katterhagen
 - Resolution Approving the Findings of Fact Approving the Land Use Amendment
 - Resolution Approving the Land Use Amendment

- Resolution Approving the Rezoning
- Ordinance and Ordinance Summary Approving the Rezoning

- b. Rezoning and Preliminary Plat - Providence
 - Resolution Approving Findings of Fact Approving the Rezoning
 - Ordinance and Ordinance Summary Approving the Rezoning
 - Resolution Approving the Preliminary Plat and Natural Resource Management Plan
 - Resolution Approving the Wetland Conservation Act Application (WCA)
 - Resolution Approving Final Plat and Development Agreement
(WCA Application and Final Plat are not subject to the Public Hearing)

- c. Subdivision Ordinance Amendment – Cul-de-sacs
 - Ordinance and Ordinance Summary Approving the Ordinance Amendment

8. OLD BUSINESS

9. NEW BUSINESS

- a. 2016 Budget

10. DEPARTMENT REPORTS

a. Police Department

- Monthly Report

b. Public Works

- Monthly Report

c. City Engineer

- Monthly Report

d. Planning & Community Development Director

- Monthly Report

e. City Administrator

- Monthly Report

11. CITY COUNCIL UPDATES & MISCELLANEOUS BUSINESS

12. ADJOURN

SARTELL CITY COUNCIL

AGENDA COVER SHEET

Originating Department: Administration	Meeting Date: July 13, 2015	Agenda Item No. 4a
Agenda Section: Special Presentations	Item: Abatement Bonds	
<p>RECOMMENDATION: Approval of attached Resolution.</p> <p>BACKGROUND: The Council has called for the sale of bonds to finance the Pinecone Road project. We have completed the paperwork and rating call and will know the bond rating late this week and bond bids will be opened prior to your meeting on Monday.</p> <p>BUDGET/FISCAL IMPACT: We have budgeted for this project and the bond sale will have no fiscal impacts other than final rates being determined and we will deliver those results to you on Monday night.</p> <p>ATTACHMENTS: Recommended Resolution.</p> <p>COUNCIL ACTION REQUESTED: After bid results delivered by Ehlers, motion to approve attached Resolution Accepting Offer.</p>		

EXTRACT OF MINUTES OF A MEETING
OF THE CITY COUNCIL
CITY OF SARTELL, MINNESOTA

HELD: July 13, 2015

Pursuant to due call and notice thereof, a regular or special meeting of the City Council of the City of Sartell, Benton and Stearns Counties, Minnesota, was duly called and held at the City Hall on July 13, 2015, at 6:00 P.M., for the purpose, in part, of authorizing issuance and awarding the sale of \$5,500,000 General Obligation Tax Abatement Bonds, Series 2015A.

The following members were present:

and the following were absent:

RESOLUTION ACCEPTING OFFER ON THE SALE OF \$5,500,000 GENERAL
OBLIGATION TAX ABATEMENT BONDS, SERIES 2015A, PROVIDING FOR THEIR
ISSUANCE AND PLEDGING TAX ABATEMENTS AND LEVYING A TAX FOR THE
SECURITY AND PAYMENT THEREOF

A. WHEREAS, the City Council of the City of Sartell, Minnesota (the "City"), has heretofore determined and declared that it is necessary and expedient to issue \$5,500,000 aggregate principal amount General Obligation Tax Abatement Bonds, Series 2015A (the "Bonds" or individually a "Bond"), pursuant to Minnesota Statutes, Chapter 475 and Sections 469.1812 through 469.1815, particularly Section 469.1814, to finance the costs of construction of improvements to Pinecone Road (the "Project"); and

B. WHEREAS, on June 8, 2015, following duly published notice thereof, the Council held a public hearing on the proposed abatement to finance the Project and all persons who wished to speak or provide written information relative to the public hearing were afforded an opportunity to do so; and

C. WHEREAS, the City has heretofore established a tax abatement program (the "Program"), pursuant to the provisions of Minnesota Statutes, Sections 469.1812 through 469.1815, with respect to providing for the abatement of property taxes for a period of fifteen years on various properties in the City, as described in the Resolution adopted by the City Council on this date, approving the Program (the "Abatement Resolution"); and

D. WHEREAS, the amount of the property taxes abated are estimated to be at least equal to the principal of the Bonds and pursuant to the provisions of the Abatement Resolution, Bond proceeds are to be expended to provide money to pay for Project; and

E. WHEREAS, the City has retained Ehlers & Associates, Inc., in Roseville, Minnesota ("Ehlers"), as its independent financial advisor for the sale of the Bonds and was therefore authorized to sell the Bonds by private negotiation in accordance with Minnesota Statutes, Section 475.60, Subdivision 2(9) and proposals to purchase the Bonds have been solicited by Ehlers; and

F. WHEREAS, the proposals set forth on Exhibit A attached hereto were received by the Administrator/Finance Director, or designee, at the offices of Ehlers, at 10:00 A.M. on the date hereof, pursuant to the Preliminary Official Statement for the Bonds, dated July 2, 2015; and

G. WHEREAS, it is in the best interests of the City that the Bonds be issued in book-entry form as hereinafter provided; and

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Sartell, Minnesota, as follows:

1. Acceptance of Proposal. The proposal of _____ (the "Purchaser"), to purchase the Bonds, in accordance with the Preliminary Official Statement established for the Bonds, at the rates of interest hereinafter set forth, and to pay therefor the sum of \$_____, plus interest accrued to settlement, is hereby found, determined and declared to be the most favorable proposal received, is hereby accepted and the Bonds are hereby awarded to the Purchaser. The Administrator/Finance Director is directed to retain the deposit of the Purchaser and to forthwith return to the unsuccessful bidders their good faith checks or drafts.

2. Bond Terms.

(a) Original Issue Date; Denominations; Maturities; Term Bond Option. The Bonds shall be dated August 6, 2015, as the date of original issue and shall be issued forthwith on or after such date in fully registered form, shall be numbered from R-1 upward in the denomination of \$5,000 each or in any integral multiple thereof of a single maturity (the "Authorized Denominations") and shall mature on February 1 in the years and amounts as follows:

<u>Year</u>	<u>Amount</u>
2017	
2018	
2019	
2020	
2021	
2022	
2023	
2024	
2025	
2026	
2027	
2028	
2029	
2030	
2031	

As may be requested by the Purchaser, one or more term Bonds may be issued having mandatory sinking fund redemption and final maturity amounts conforming to the foregoing

principal repayment schedule, and corresponding additions may be made to the provisions of the applicable Bond(s).

(b) Book Entry Only System. The Depository Trust Company, a limited purpose trust company organized under the laws of the State of New York or any of its successors or its successors to its functions hereunder (the "Depository") will act as securities depository for the Bonds, and to this end:

- (i) The Bonds shall be initially issued and, so long as they remain in book entry form only (the "Book Entry Only Period"), shall at all times be in the form of a separate single fully registered Bond for each maturity of the Bonds; and for purposes of complying with this requirement under paragraphs 5 and 10 Authorized Denominations for any Bond shall be deemed to be limited during the Book Entry Only Period to the outstanding principal amount of that Bond.
- (ii) Upon initial issuance, ownership of the Bonds shall be registered in a bond register maintained by the Bond Registrar (as hereinafter defined) in the name of CEDE & CO., as the nominee (it or any nominee of the existing or a successor Depository, the "Nominee").
- (iii) With respect to the Bonds neither the City nor the Bond Registrar shall have any responsibility or obligation to any broker, dealer, bank, or any other financial institution for which the Depository holds Bonds as securities depository (the "Participant") or the person for which a Participant holds an interest in the Bonds shown on the books and records of the Participant (the "Beneficial Owner"). Without limiting the immediately preceding sentence, neither the City, nor the Bond Registrar, shall have any such responsibility or obligation with respect to (A) the accuracy of the records of the Depository, the Nominee or any Participant with respect to any ownership interest in the Bonds, or (B) the delivery to any Participant, any Owner or any other person, other than the Depository, of any notice with respect to the Bonds, including any notice of redemption, or (C) the payment to any Participant, any Beneficial Owner or any other person, other than the Depository, of any amount with respect to the principal of or premium, if any, or interest on the Bonds, or (D) the consent given or other action taken by the Depository as the Registered Holder of any Bonds (the "Holder"). For purposes of securing the vote or consent of any Holder under this Resolution, the City may, however, rely upon an omnibus proxy under which the Depository assigns its consenting or voting rights to certain Participants to whose accounts the Bonds are credited on the record date identified in a listing attached to the omnibus proxy.
- (iv) The City and the Bond Registrar may treat as and deem the Depository to be the absolute owner of the Bonds for the purpose of payment of the principal of and premium, if any, and interest on the Bonds, for the purpose of giving notices of redemption and other matters with respect to the Bonds, for the purpose of obtaining any consent or other action to be taken by Holders for the purpose of registering transfers with respect to such Bonds, and for all purpose whatsoever.

The Bond Registrar, as paying agent hereunder, shall pay all principal of and premium, if any, and interest on the Bonds only to the Holder or the Holders of the Bonds as shown on the bond register, and all such payments shall be valid and effective to fully satisfy and discharge the City's obligations with respect to the principal of and premium, if any, and interest on the Bonds to the extent of the sum or sums so paid.

- (v) Upon delivery by the Depository to the Bond Registrar of written notice to the effect that the Depository has determined to substitute a new Nominee in place of the existing Nominee, and subject to the transfer provisions in paragraph 10, references to the Nominee hereunder shall refer to such new Nominee.
- (vi) So long as any Bond is registered in the name of a Nominee, all payments with respect to the principal of and premium, if any, and interest on such Bond and all notices with respect to such Bond shall be made and given, respectively, by the Bond Registrar or City, as the case may be, to the Depository as provided in the Letter of Representations to the Depository required by the Depository as a condition to its acting as book-entry Depository for the Bonds (said Letter of Representations, together with any replacement thereof or amendment or substitute thereto, including any standard procedures or policies referenced therein or applicable thereto respecting the procedures and other matters relating to the Depository's role as book-entry Depository for the Bonds, collectively hereinafter referred to as the "Letter of Representations").
- (vii) All transfers of beneficial ownership interests in each Bond issued in book-entry form shall be limited in principal amount to Authorized Denominations and shall be effected by procedures by the Depository with the Participants for recording and transferring the ownership of beneficial interests in such Bonds.
- (viii) In connection with any notice or other communication to be provided to the Holders pursuant to this Resolution by the City or Bond Registrar with respect to any consent or other action to be taken by Holders, the Depository shall consider the date of receipt of notice requesting such consent or other action as the record date for such consent or other action; provided, that the City or the Bond Registrar may establish a special record date for such consent or other action. The City or the Bond Registrar shall, to the extent possible, give the Depository notice of such special record date not less than fifteen calendar days in advance of such special record date to the extent possible.
- (ix) Any successor Bond Registrar in its written acceptance of its duties under this Resolution and any paying agency/bond registrar agreement, shall agree to take any actions necessary from time to time to comply with the requirements of the Letter of Representations.
- (x) In the case of a partial prepayment of a Bond, the Holder may, in lieu of surrendering the Bonds for a Bond of a lesser denomination as provided in

paragraph 5, make a notation of the reduction in principal amount on the panel provided on the Bond stating the amount so redeemed.

(c) Termination of Book-Entry Only System. Discontinuance of a particular Depository's services and termination of the book-entry only system may be effected as follows:

- (i) The Depository may determine to discontinue providing its services with respect to the Bonds at any time by giving written notice to the City and discharging its responsibilities with respect thereto under applicable law. The City may terminate the services of the Depository with respect to the Bond if it determines that the Depository is no longer able to carry out its functions as securities depository or the continuation of the system of book-entry transfers through the Depository is not in the best interests of the City or the Beneficial Owners.
- (ii) Upon termination of the services of the Depository as provided in the preceding paragraph, and if no substitute securities depository is willing to undertake the functions of the Depository hereunder can be found which, in the opinion of the City, is willing and able to assume such functions upon reasonable or customary terms, or if the City determines that it is in the best interests of the City or the Beneficial Owners of the Bond that the Beneficial Owners be able to obtain certificates for the Bonds, the Bonds shall no longer be registered as being registered in the bond register in the name of the Nominee, but may be registered in whatever name or names the Holder of the Bonds shall designate at that time, in accordance with paragraph 10. To the extent that the Beneficial Owners are designated as the transferee by the Holders, in accordance with paragraph 10, the Bonds will be delivered to the Beneficial Owners.
- (iii) Nothing in this subparagraph (c) shall limit or restrict the provisions of paragraph 10.

(d) Letter of Representations. The provisions in the Letter of Representations are incorporated herein by reference and made a part of the resolution, and if and to the extent any such provisions are inconsistent with the other provisions of this resolution, the provisions in the Letter of Representations shall control.

3. Purpose. The Bonds shall provide funds to finance the Project. Pursuant to the Abatement Resolution, the City's share of real estate taxes generated as a result of the Program (the "Tax Abatements") have been pledged to the payment of principal on the Bonds. The principal amount of the Bonds does not exceed the estimated amount of Tax Abatements, which shall not exceed \$5,500,000. The total cost of the Project, which shall include all costs enumerated in Minnesota Statutes, Section 475.65, is estimated to be at least equal to the amount of the Bonds. Proceeds of the Bonds shall be expended on costs or uses permitted by Minnesota Statutes, Sections 469.1812 through 469.1815, and shall not be expended on any costs or devoted to any other uses. The City covenants that it shall do all things and perform all acts required of it to assure that work on the Project proceeds with due diligence to completion and that any and all permits and studies required under law for the Project are obtained.

4. Interest. The Bonds shall bear interest payable semiannually on February 1 and August 1 of each year (each, an "Interest Payment Date"), commencing August 1, 2016, calculated on the basis of a 360-day year of twelve 30-day months, at the respective rates per annum set forth opposite the maturity years as follows:

<u>Maturity Year</u>	<u>Interest Rate</u>
2017	
2018	
2019	
2020	
2021	
2022	
2023	
2024	
2025	
2026	
2027	
2028	
2029	
2030	
2031	

5. Redemption. All Bonds maturing on February 1, 2024, and thereafter, shall be subject to redemption and prepayment at the option of the City on February 1, 2023, and on any date thereafter at a price of par plus accrued interest. Redemption may be in whole or in part of the Bonds subject to prepayment. If redemption is in part, the maturities and the principal amounts within each maturity to be redeemed shall be determined by the City; and if only part of the Bonds having a common maturity date are called for prepayment, the specific Bonds to be prepaid shall be chosen by lot by the Bond Registrar. Bonds or portions thereof called for redemption shall be due and payable on the redemption date, and interest thereon shall cease to accrue from and after the redemption date. Mailed notice of redemption shall be given to the paying agent and to each affected registered holder of the Bonds.

To effect a partial redemption of Bonds having a common maturity date, the Bond Registrar prior to giving notice of redemption shall assign to each Bond having a common maturity date a distinctive number for each \$5,000 of the principal amount of such Bond. The Bond Registrar shall then select by lot, using such method of selection as it shall deem proper in its discretion, from the numbers so assigned to such Bonds, as many numbers as, at \$5,000 for each number, shall equal the principal amount of such Bonds to be redeemed. The Bonds to be redeemed shall be the Bonds to which were assigned numbers so selected; provided, however, that only so much of the principal amount of each such Bond of a denomination of more than \$5,000 shall be redeemed as shall equal \$5,000 for each number assigned to it and so selected. If a Bond is to be redeemed only in part, it shall be surrendered to the Bond Registrar (with, if the City or Bond Registrar so requires, a written instrument of transfer in form satisfactory to the City and Bond Registrar duly executed by the Holder thereof or the Holder's attorney duly authorized in writing) and the City shall execute (if necessary) and the Bond Registrar shall

authenticate and deliver to the Holder of the Bond, without service charge, a new Bond or Bonds having the same stated maturity and interest rate and of any Authorized Denomination or Denominations, as requested by the Holder, in aggregate principal amount equal to and in exchange for the unredeemed portion of the principal of the Bond so surrendered.

6. Bond Registrar. U.S. Bank National Association, in St. Paul, Minnesota, is appointed to act as bond registrar and transfer agent with respect to the Bonds (the "Bond Registrar"), and shall do so unless and until a successor Bond Registrar is duly appointed, all pursuant to any contract the City and Bond Registrar shall execute which is consistent herewith. The Bond Registrar shall also serve as paying agent unless and until a successor paying agent is duly appointed. Principal and interest on the Bonds shall be paid to the registered holders (or record holders) of the Bonds in the manner set forth in the form of Bond and paragraph 12.

7. Form of Bond. The Bonds, together with the Bond Registrar's Certificate of Authentication, the form of Assignment and the registration information thereon, shall be in substantially the following form:

UNITED STATES OF AMERICA
STATE OF MINNESOTA
BENTON AND STEARNS COUNTIES
CITY OF SARTELL

R-_____ \$_____

GENERAL OBLIGATION TAX ABATEMENT BONDS, SERIES 2015A

<u>Interest Rate</u>	<u>Maturity Date</u>	<u>Date of Original Issue</u>	<u>CUSIP</u>
%	February 1,	August 6, 2015	

REGISTERED OWNER: CEDE & CO.

PRINCIPAL AMOUNT:

The City of Sartell, Benton and Stearns Counties, Minnesota (the "Issuer"), certifies that it is indebted and for value received promises to pay to the registered owner specified above, or registered assigns, in the manner hereinafter set forth, the principal amount specified above, on the maturity date specified above, unless called for prepayment, and to pay interest thereon semiannually on February 1 and August 1 of each year (each, an "Interest Payment Date"), commencing August 1, 2016, at the rate per annum specified above (calculated on the basis of a 360-day year of twelve 30-day months) until the principal sum is paid or has been provided for. This Bond will bear interest from the most recent Interest Payment Date to which interest has been paid or, if no interest has been paid, from the date of original issue hereof. The principal of and premium, if any, on this Bond are payable upon presentation and surrender hereof at the principal office of U.S. Bank National Association, in St. Paul, Minnesota (the "Bond Registrar"), acting as paying agent, or any successor paying agent duly appointed by the Issuer. Interest on this Bond will be paid on each Interest Payment Date by check or draft mailed to the person in whose name this Bond is registered (the "Holder" or "Bondholder") on the registration

books of the Issuer maintained by the Bond Registrar and at the address appearing thereon at the close of business on the fifteenth day of the calendar month next preceding such Interest Payment Date (the "Regular Record Date"). Any interest not so timely paid shall cease to be payable to the person who is the Holder hereof as of the Regular Record Date, and shall be payable to the person who is the Holder hereof at the close of business on a date (the "Special Record Date") fixed by the Bond Registrar whenever money becomes available for payment of the defaulted interest. Notice of the Special Record Date shall be given to Bondholders not less than ten days prior to the Special Record Date. The principal of and premium, if any, and interest on this Bond are payable in lawful money of the United States of America. So long as this Bond is registered in the name of the Depository or its Nominee as provided in the Resolution hereinafter described, and as those terms are defined therein, payment of principal of, premium, if any, and interest on this Bond and notice with respect thereto shall be made as provided in the Letter of Representations, as defined in the Resolution, and surrender of this Bond shall not be required for payment of the redemption price upon a partial redemption of this Bond. Until termination of the book-entry only system pursuant to the Resolution, Bonds may only be registered in the name of the Depository or its Nominee.

Optional Redemption. The Bonds of this issue (the "Bonds") maturing on February 1, 2024, and thereafter, are subject to redemption and prepayment at the option of the Issuer on February 1, 2023, and on any date thereafter at a price of par plus accrued interest. Redemption may be in whole or in part of the Bonds subject to prepayment. If redemption is in part, the maturities and the principal amounts within each maturity to be redeemed shall be determined by the Issuer; and if only part of the Bonds having a common maturity date are called for prepayment, the specific Bonds to be prepaid shall be chosen by lot by the Bond Registrar. Bonds or portions thereof called for redemption shall be due and payable on the redemption date, and interest thereon shall cease to accrue from and after the redemption date. Mailed notice of redemption shall be given to the paying agent and to each affected Holder of the Bonds prior to the date fixed for redemption.

Prior to the date on which any Bond or Bonds are directed by the Issuer to be redeemed in advance of maturity, the Issuer will cause notice of the call thereof for redemption identifying the Bonds to be redeemed to be mailed to the Bond Registrar and all Bondholders, at the addresses shown on the Bond Register. All Bonds so called for redemption will cease to bear interest on the specified redemption date, provided funds for their redemption have been duly deposited.

Selection of Bonds for Redemption; Partial Redemption. To effect a partial redemption of Bonds having a common maturity date, the Bond Registrar shall assign to each Bond having a common maturity date a distinctive number for each \$5,000 of the principal amount of such Bond. The Bond Registrar shall then select by lot, using such method of selection as it shall deem proper in its discretion, from the numbers assigned to the Bonds, as many numbers as, at \$5,000 for each number, shall equal the principal amount of such Bonds to be redeemed. The Bonds to be redeemed shall be the Bonds to which were assigned numbers so selected; provided, however, that only so much of the principal amount of such Bond of a denomination of more than \$5,000 shall be redeemed as shall equal \$5,000 for each number assigned to it and so selected. If a Bond is to be redeemed only in part, it shall be surrendered to the Bond Registrar (with, if the Issuer or Bond Registrar so requires, a written instrument of transfer in form

satisfactory to the Issuer and Bond Registrar duly executed by the Holder thereof or the Holder's attorney duly authorized in writing) and the Issuer shall execute (if necessary) and the Bond Registrar shall authenticate and deliver to the Holder of such Bond, without service charge, a new Bond or Bonds of the same series having the same stated maturity and interest rate and of any Authorized Denomination or Denominations, as requested by such Holder, in aggregate principal amount equal to and in exchange for the unredeemed portion of the principal of the Bond so surrendered.

Issuance; Purpose; General Obligation. This Bond is one of an issue in the total principal amount of \$5,500,000, all of like date of original issue and tenor, except as to number, maturity, interest rate, denomination and redemption privilege issued pursuant to and in full conformity with the Constitution and laws of the State of Minnesota and a resolution adopted by the City Council on July 13, 2015 (the "Resolution"), for the purpose of providing money to finance the costs of the construction of improvements to Pinecone Road that benefit the property for which property taxes are levied and/or abated as described in the Resolution. This Bond is payable out of the General Obligation Tax Abatement Bonds Fund of the Issuer. This Bond constitutes a general obligation of the Issuer, and to provide moneys for the prompt and full payment of its principal, premium, if any, and interest when the same become due, the full faith and credit and taxing powers of the Issuer have been and are hereby irrevocably pledged.

Denominations; Exchange; Resolution. The Bonds are issuable solely in fully registered form in Authorized Denominations (as defined in the Resolution) and are exchangeable for fully registered Bonds of other Authorized Denominations in equal aggregate principal amounts at the principal office of the Bond Registrar, but only in the manner and subject to the limitations provided in the Resolution. Reference is hereby made to the Resolution for a description of the rights and duties of the Bond Registrar. Copies of the Resolution are on file in the principal office of the Bond Registrar.

Transfer. This Bond is transferable by the Holder in person or by the Holder's attorney duly authorized in writing at the principal office of the Bond Registrar upon presentation and surrender hereof to the Bond Registrar, all subject to the terms and conditions provided in the Resolution and to reasonable regulations of the Issuer contained in any agreement with the Bond Registrar. Thereupon the Issuer shall execute and the Bond Registrar shall authenticate and deliver, in exchange for this Bond, one or more new fully registered Bonds in the name of the transferee (but not registered in blank or to "bearer" or similar designation), of an Authorized Denomination or Denominations, in aggregate principal amount equal to the principal amount of this Bond, of the same maturity and bearing interest at the same rate.

Fees upon Transfer or Loss. The Bond Registrar may require payment of a sum sufficient to cover any tax or other governmental charge payable in connection with the transfer or exchange of this Bond and any legal or unusual costs regarding transfers and lost Bonds.

Treatment of Registered Owners. The Issuer and Bond Registrar may treat the person in whose name this Bond is registered as the owner hereof for the purpose of receiving payment as herein provided (except as otherwise provided herein with respect to the Record Date) and for all other purposes, whether or not this Bond shall be overdue, and neither the Issuer nor the Bond Registrar shall be affected by notice to the contrary.

Authentication. This Bond shall not be valid or become obligatory for any purpose or be entitled to any security unless the Certificate of Authentication hereon shall have been executed by the Bond Registrar.

Qualified Tax-Exempt Obligation. This Bond has been designated by the Issuer as a "qualified tax-exempt obligation" for purposes of Section 265(b)(3) of the Internal Revenue Code of 1986, as amended.

IT IS HEREBY CERTIFIED AND RECITED that all acts, conditions and things required by the Constitution and laws of the State of Minnesota to be done, to happen and to be performed, precedent to and in the issuance of this Bond, have been done, have happened and have been performed, in regular and due form, time and manner as required by law, and that this Bond, together with all other debts of the Issuer outstanding on the date of original issue hereof and the date of its issuance and delivery to the original purchaser, does not exceed any constitutional or statutory limitation of indebtedness.

IN WITNESS WHEREOF, the City of Sartell, Benton and Stearns Counties, Minnesota, by its City Council has caused this Bond to be executed on its behalf by the facsimile signatures of its Mayor and its Administrator/Finance Director, the corporate seal of the Issuer having been intentionally omitted as permitted by law.

Date of Registration: _____ Registrable by: U.S. BANK NATIONAL ASSOCIATION

_____ Payable at: U.S. BANK NATIONAL ASSOCIATION

BOND REGISTRAR'S
CERTIFICATE OF
AUTHENTICATION

CITY OF SARTELL,
BENTON AND STEARNS COUNTIES,
MINNESOTA

This Bond is one of the Bonds described in the Resolution mentioned within.

/s/ Facsimile _____
Mayor

U.S. BANK NATIONAL ASSOCIATION
St. Paul, Minnesota,
Bond Registrar

/s/ Facsimile _____
Administrator/Finance Director

By: _____
Authorized Signature

8. Execution. The Bonds shall be in typewritten form, shall be executed on behalf of the City by the signatures of its Mayor and Administrator/Finance Director and be sealed with the seal of the City; provided, as permitted by law, both signatures may be photocopied facsimiles and the corporate seal has been omitted. In the event of disability or resignation or other absence of either officer, the Bonds may be signed by the manual or facsimile signature of the officer who may act on behalf of the absent or disabled officer. In case either officer whose signature or facsimile of whose signature shall appear on the Bonds shall cease to be such officer before the delivery of the Bonds, the signature or facsimile shall nevertheless be valid and sufficient for all purposes, the same as if the officer had remained in office until delivery.

9. Authentication. No Bond shall be valid or obligatory for any purpose or be entitled to any security or benefit under this resolution unless a Certificate of Authentication on the Bond, substantially in the form hereinabove set forth, shall have been duly executed by an authorized representative of the Bond Registrar. Certificates of Authentication on different Bonds need not be signed by the same person. The Bond Registrar shall authenticate the signatures of officers of the City on each Bond by execution of the Certificate of Authentication on the Bond and by inserting as the date of registration in the space provided the date on which the Bond is authenticated, except that for purposes of delivering the original Bonds to the Purchaser, the Bond Registrar shall insert as a date of registration the date of original issue of August 6, 2015. The Certificate of Authentication so executed on each Bond shall be conclusive evidence that it has been authenticated and delivered under this resolution.

10. Registration; Transfer; Exchange. The City will cause to be kept at the principal office of the Bond Registrar a bond register in which, subject to such reasonable regulations as the Bond Registrar may prescribe, the Bond Registrar shall provide for the registration of Bonds and the registration of transfers of Bonds entitled to be registered or transferred as herein provided.

Upon surrender for transfer of any Bond at the principal office of the Bond Registrar, the City shall execute (if necessary), and the Bond Registrar shall authenticate, insert the date of registration (as provided in paragraph 9) of, and deliver, in the name of the designated transferee or transferees, one or more new Bonds of any Authorized Denomination or Denominations of a like aggregate principal amount, having the same stated maturity and interest rate, as requested by the transferor; provided, however, that no Bond may be registered in blank or in the name of "bearer" or similar designation.

At the option of the Holder, Bonds may be exchanged for Bonds of any Authorized Denomination or Denominations of a like aggregate principal amount and stated maturity, upon surrender of the Bonds to be exchanged at the principal office of the Bond Registrar. Whenever any Bonds are so surrendered for exchange, the City shall execute (if necessary), and the Bond Registrar shall authenticate, insert the date of registration of, and deliver the Bonds which the Holder making the exchange is entitled to receive.

All Bonds surrendered upon any exchange or transfer provided for in this resolution shall be promptly canceled by the Bond Registrar and thereafter disposed of as directed by the City.

All Bonds delivered in exchange for or upon transfer of Bonds shall be valid general obligations of the City evidencing the same debt, and entitled to the same benefits under this resolution, as the Bonds surrendered for such exchange or transfer.

Every Bond presented or surrendered for transfer or exchange shall be duly endorsed or be accompanied by a written instrument of transfer, in form satisfactory to the Bond Registrar, duly executed by the Holder thereof or the Holder's attorney duly authorized in writing.

The Bond Registrar may require payment of a sum sufficient to cover any tax or other governmental charge payable in connection with the transfer or exchange of any Bond and any legal or unusual costs regarding transfers and lost Bonds.

Transfers shall also be subject to reasonable regulations of the City contained in any agreement with the Bond Registrar, including regulations which permit the Bond Registrar to close its transfer books between record dates and payment dates. The Administrator/Finance Director is hereby authorized to negotiate and execute the terms of said agreement.

11. Rights Upon Transfer or Exchange. Each Bond delivered upon transfer of or in exchange for or in lieu of any other Bond shall carry all the rights to interest accrued and unpaid, and to accrue, which were carried by such other Bond.

12. Interest Payment; Record Date. Interest on any Bond shall be paid on each Interest Payment Date by check or draft mailed to the person in whose name the Bond is registered (the "Holder") on the registration books of the City maintained by the Bond Registrar and at the address appearing thereon at the close of business on the fifteenth day of the calendar month next preceding such Interest Payment Date (the "Regular Record Date"). Any such interest not so timely paid shall cease to be payable to the person who is the Holder thereof as of the Regular Record Date, and shall be payable to the person who is the Holder thereof at the close of business on a date (the "Special Record Date") fixed by the Bond Registrar whenever money becomes available for payment of the defaulted interest. Notice of the Special Record Date shall be given by the Bond Registrar to the Holders not less than ten days prior to the Special Record Date.

13. Treatment of Registered Owner. The City and Bond Registrar may treat the person in whose name any Bond is registered as the owner of such Bond for the purpose of receiving payment of principal of and premium, if any, and interest (subject to the payment provisions in paragraph 12) on, such Bond and for all other purposes whatsoever whether or not such Bond shall be overdue, and neither the City nor the Bond Registrar shall be affected by notice to the contrary.

14. Delivery; Application of Proceeds. The Bonds when so prepared and executed shall be delivered by the Administrator/Finance Director to the Purchaser upon receipt of the purchase price, and the Purchaser shall not be obliged to see to the proper application thereof.

15. Fund and Accounts. There is hereby established a special fund to be designated "General Obligation Tax Abatement Bonds Fund" (the "Fund") to be administered and maintained by the Administrator/Finance Director as a bookkeeping account separate and apart from all other funds maintained in the official financial records of the City. The Fund shall be

maintained in the manner herein specified until all of the Bonds and interest thereon have been fully paid. There shall be maintained in the Fund the following separate accounts:

(a) Construction Account. To the Construction Account there shall be credited the proceeds of the sale of the Bonds, less capitalized interest and less any amount paid for the Bonds in excess of the minimum bid. From the Construction Account there shall be paid all costs and expenses of the Project, including the cost of any construction contracts heretofore let and all other costs incurred and to be incurred of the kind authorized in Minnesota Statutes, Section 475.65. Moneys in the Construction Account shall be used for no other purpose except as otherwise provided by law. Proceeds of the Bonds may be used to the extent necessary to pay interest on the Bonds due prior to the anticipated date of commencement of the collection of Tax Abatements and taxes herein levied or covenanted to be levied and if upon completion of the Project there shall remain any unexpended balance in the Construction Account, the balance shall be transferred to the Debt Service Account.

(b) Debt Service Account. To the Debt Service Account there is hereby irrevocably appropriated and pledged, and there shall be credited (i) Tax Abatements in an amount sufficient to pay the annual principal payments on the Bonds; (ii) capitalized interest in the amount of \$_____ (together with interest earnings thereon and subject to such other adjustments as are appropriate to provide sufficient funds to pay interest due on the Bonds on or before _____, 201_); (iii) any amount paid for the Bonds in excess of the minimum bid; (iv) any collections of all taxes herein and hereafter levied for the payment of the interest on the Bonds; (v) all funds remaining in the Construction Account after completion of the Project and payment of the costs thereof; (vi) all investment earnings on funds held in the Debt Service Account; and (vii) any and all other moneys which are properly available and are appropriated by the governing body of the City to the Debt Service Account. The Debt Service Account shall be used solely to pay the principal and interest and any premiums for redemption of the Bonds.

No portion of the proceeds of the Bonds shall be used directly or indirectly to acquire higher yielding investments or to replace funds which were used directly or indirectly to acquire higher yielding investments, except (1) for a reasonable temporary period until such proceeds are needed for the purpose for which the Bonds were issued and (2) in addition to the above in an amount not greater than the lesser of five percent of the proceeds of the Bonds or \$100,000. To this effect, any proceeds of the Bonds and any sums from time to time held in the Construction Account or Debt Service Account (or any other City account which will be used to pay principal or interest to become due on the bonds payable therefrom) in excess of amounts which under then-applicable federal arbitrage regulations may be invested without regard to yield shall not be invested at a yield in excess of the applicable yield restrictions imposed by said arbitrage regulations on such investments after taking into account any applicable "temporary periods" or "minor portion" made available under the federal arbitrage regulations. Money in the Fund shall not be invested in obligations or deposits issued by, guaranteed by or insured by the United States or any agency or instrumentality thereof if and to the extent that such investment would cause the Bonds to be "federally guaranteed" within the meaning of Section 149(b) of the Internal Revenue Code of 1986, as amended (the "Code").

16. Tax Abatements; Use of Tax Abatements. The Council has adopted the Abatement Resolution and has thereby approved the Tax Abatements, including the pledge

thereof to the payment of principal of the Bonds. As provided in the Abatement Resolution, the estimated total amount of Tax Abatements, if received as estimated for the full maximum term thereof, is \$5,500,000, and therefore the principal amount of the Bonds does not exceed the maximum projected amount of the Tax Abatements. The Council hereby confirms the Abatement Resolution, which is hereby incorporated as though set forth herein.

17. Tax Levy; Coverage Test. To provide moneys, together with the Tax Abatements, for payment of the interest on the Bonds, there is hereby levied upon all of the taxable property in the City a direct annual ad valorem tax which shall be spread upon the tax rolls and collected with and as part of other general property taxes in the City for the years and in the amounts as follows:

<u>Year of Tax Levy</u>	<u>Year of Tax Collection</u>	<u>Amount</u>
20__-20__	20__-20__	See attached Exhibit A

The tax levies are such that if collected in full they, together with estimated collections of Tax Abatements, will produce at least five percent in excess of the amount needed to meet when due the principal and interest payments on the Bonds. The tax levies shall be irrevocable so long as any of the Bonds are outstanding and unpaid, provided that the City reserves the right and power to reduce the levies in the manner and to the extent permitted by Minnesota Statutes, Section 475.61, Subdivision 3.

18. General Obligation Pledge. For the prompt and full payment of the principal of and interest on the Bonds as the same respectively become due, the full faith, credit and taxing powers of the City shall be and are hereby irrevocably pledged. If the balance in the Debt Service Account is ever insufficient to pay all principal and interest then due on the Bonds payable therefrom, the deficiency shall be promptly paid out of any other accounts of the City which are available for such purpose, and such other funds may be reimbursed without interest from the Debt Service Account when a sufficient balance is available therein.

19. Defeasance. When all Bonds have been discharged as provided in this paragraph, all pledges, covenants and other rights granted by this resolution to the registered holders of the Bonds shall, to the extent permitted by law, cease. The City may discharge its obligations with respect to any Bonds which are due on any date by irrevocably depositing with the Bond Registrar on or before that date a sum sufficient for the payment thereof in full; or if any Bond should not be paid when due, it may nevertheless be discharged by depositing with the Bond Registrar a sum sufficient for the payment thereof in full with interest accrued to the date of such deposit. The City may also discharge its obligations with respect to any prepayable Bonds called for redemption on any date when they are prepayable according to their terms, by depositing with the Bond Registrar on or before that date a sum sufficient for the payment thereof in full, provided that notice of redemption thereof has been duly given. The City may also at any time discharge its obligations with respect to any Bonds, subject to the provisions of law now or hereafter authorizing and regulating such action, by depositing irrevocably in escrow, with a suitable banking institution qualified by law as an escrow agent for this purpose, cash or securities described in Minnesota Statutes, Section 475.67, Subdivision 8, bearing interest payable at such times and at such rates and maturing on such dates as shall be required, without

regard to sale and/or reinvestment, to pay all amounts to become due thereon to maturity or, if notice of redemption as herein required has been duly provided for, to such earlier redemption date.

20. Compliance With Reimbursement Bond Regulations. The provisions of this paragraph are intended to establish and provide for the City's compliance with United States Treasury Regulations Section 1.150-2 (the "Reimbursement Regulations") applicable to the "reimbursement proceeds" of the Bonds, being those portions thereof which will be used by the City to reimburse itself for any expenditure which the City paid or will have paid prior to the Closing Date (a "Reimbursement Expenditure").

The City hereby certifies and/or covenants as follows:

(a) Not later than sixty days after the date of payment of a Reimbursement Expenditure, the City (or person designated to do so on behalf of the City) has made or will have made a written declaration of the City's official intent (a "Declaration") which effectively (i) states the City's reasonable expectation to reimburse itself for the payment of the Reimbursement Expenditure out of the proceeds of a subsequent borrowing; (ii) gives a general and functional description of the property, project or program to which the Declaration relates and for which the Reimbursement Expenditure is paid, or identifies a specific fund or account of the City and the general functional purpose thereof from which the Reimbursement Expenditure was to be paid (collectively the "Project"); and (iii) states the maximum principal amount of debt expected to be issued by the City for the purpose of financing the Project; provided, however, that no such Declaration shall necessarily have been made with respect to: (i) "preliminary expenditures" for the Project, defined in the Reimbursement Regulations to include engineering or architectural, surveying and soil testing expenses and similar prefatory costs, which in the aggregate do not exceed twenty percent of the "issue price" of the Bonds, and (ii) a *de minimis* amount of Reimbursement Expenditures not in excess of the lesser of \$100,000 or five percent of the proceeds of the Bonds.

(b) Each Reimbursement Expenditure is a capital expenditure or a cost of issuance of the Bonds or any of the other types of expenditures described in Section 1.150-2(d)(3) of the Reimbursement Regulations.

(c) The "reimbursement allocation" described in the Reimbursement Regulations for each Reimbursement Expenditure shall and will be made forthwith following (but not prior to) the issuance of the Bonds and in all events within the period ending on the date which is the later of three years after payment of the Reimbursement Expenditure or one year after the date on which the Project to which the Reimbursement Expenditure relates is first placed in service.

(d) Each such reimbursement allocation will be made in a writing that evidences the City's use of Bond proceeds to reimburse the Reimbursement Expenditure and, if made within 30 days after the Bonds are issued, shall be treated as made on the day the Bonds are issued.

Provided, however, that the City may take action contrary to any of the foregoing covenants in this paragraph upon receipt of an opinion of its Bond Counsel for the Bonds stating in effect that such action will not impair the tax-exempt status of the Bonds.

21. Certificate of Registration. The City Administrator/Finance Director is hereby directed to file a certified copy of this resolution with the County Auditors of Benton and Stearns Counties, Minnesota, together with such other information as the Auditor shall require, and to obtain the Auditor's certificates that the Bonds have been entered in the Auditor's Bond Register.

22. Continuing Disclosure. The City is the sole obligated person with respect to the Bonds. The City hereby agrees, in accordance with the provisions of Rule 15c2-12 (the "Rule"), promulgated by the Securities and Exchange Commission (the "Commission") pursuant to the Securities Exchange Act of 1934, as amended, and a Continuing Disclosure Undertaking (the "Undertaking") hereinafter described to:

(a) Provide or cause to be provided to the Municipal Securities Rulemaking Board (the "MSRB") by filing at www.emma.msrb.org in accordance with the Rule, certain annual financial information and operating data in accordance with the Undertaking. The City reserves the right to modify from time to time the terms of the Undertaking as provided therein.

(b) Provide or cause to be provided to the MSRB notice of the occurrence of certain events with respect to the Bonds in not more than ten (10) business days after the occurrence of the event, in accordance with the Undertaking.

(c) Provide or cause to be provided to the MSRB notice of a failure by the City to provide the annual financial information with respect to the City described in the Undertaking, in not more than ten (10) business days following such occurrence.

(d) The City agrees that its covenants pursuant to the Rule set forth in this paragraph and in the Undertaking is intended to be for the benefit of the Holders of the Bonds and shall be enforceable on behalf of such Holders; provided that the right to enforce the provisions of these covenants shall be limited to a right to obtain specific enforcement of the City's obligations under the covenants.

The Mayor and Administrator/Finance Director of the City, or any other officer of the City authorized to act in their place (the "Officers") are hereby authorized and directed to execute on behalf of the City the Undertaking in substantially the form presented to the City Council subject to such modifications thereof or additions thereto as are (i) consistent with the requirements under the Rule, (ii) required by the Purchaser of the Bonds, and (iii) acceptable to the Officers.

23. Records and Certificates. The officers of the City are hereby authorized and directed to prepare and furnish to the Purchaser, and to the attorneys approving the legality of the issuance of the Bonds, certified copies of all proceedings and records of the City relating to the Bonds and to the financial condition and affairs of the City, and such other affidavits, certificates and information as are required to show the facts relating to the legality and marketability of the Bonds as the same appear from the books and records under their custody and control or as otherwise known to them, and all such certified copies, certificates and affidavits, including any heretofore furnished, shall be deemed representations of the City as to the facts recited therein.

24. Negative Covenant as to Use of Bond Proceeds and Project. The City hereby covenants not to use the proceeds of the Bonds or to use the Improvements, or to cause or permit

them to be used, or to enter into any deferred payment arrangements for the cost of the Improvements, in such a manner as to cause the Bonds to be "private activity bonds" within the meaning of Sections 103 and 141 through 150 of the Code.

25. Tax-Exempt Status of the Bonds; Rebate. The City shall comply with requirements necessary under the Code to establish and maintain the exclusion from gross income under Section 103 of the Code of the interest on the Bonds, including without limitation (1) requirements relating to temporary periods for investments, (2) limitations on amounts invested at a yield greater than the yield on the Bonds, and (3) the rebate of excess investment earnings to the United States. The City expects to satisfy the 24-month expenditure exemption for gross proceeds of the Bonds as provided in Section 1.148-7(d)(1) of the Regulations. The Mayor and/or Administrator/Finance Director are hereby authorized and directed to make such elections as to arbitrage and rebate matters relating to the Bonds as they deem necessary, appropriate or desirable in connection with the Bonds, and all such elections shall be, and shall be deemed and treated as, elections of the City.

26. Designation of Qualified Tax-Exempt Obligations. In order to qualify the Bonds as "qualified tax exempt obligations" within the meaning of Section 265(b)(3) of the Code, the City hereby makes the following factual statements and representations:

- (a) the Bonds are issued after August 7, 1986;
- (b) the Bonds are not "private activity bonds" as defined in Section 141 of the Code;
- (c) the City hereby designates the Bonds as "qualified tax exempt obligations" for purposes of Section 265(b)(3) of the Code;
- (d) the reasonably anticipated amount of tax-exempt obligations (other than private activity bonds, treating qualified 501(c)(3) bonds as not being private activity bonds) which will be issued by the City (and all entities treated as one issuer with the City, and all subordinate entities whose obligations are treated as issued by the City) during this calendar year 2015 will not exceed \$10,000,000;
- (e) not more than \$10,000,000 of obligations issued by the City during this calendar year 2015 have been designated for purposes of Section 265(b)(3) of the Code; and
- (f) the aggregate face amount of the Bonds does not exceed \$10,000,000.

The City shall use its best efforts to comply with any federal procedural requirements which may apply in order to effectuate the designation made by this paragraph.

27. Official Statement. The Official Statement relating to the Bonds prepared and distributed by Ehlers is hereby approved and the officers of the City are authorized in connection with the delivery of the Bonds to sign such certificates as may be necessary with respect to the completeness and accuracy of the Official Statement.

28. Payment of Issuance Expenses. The City authorizes the Purchaser to forward the amount of Bond proceeds allocable to the payment of issuance expenses to KleinBank, Chaska, Minnesota on the closing date for further distribution as directed by the City's municipal advisor, Ehlers.

29. Severability. If any section, paragraph or provision of this resolution shall be held to be invalid or unenforceable for any reason, the invalidity or unenforceability of such section, paragraph or provision shall not affect any of the remaining provisions of this resolution.

30. Headings. Headings in this resolution are included for convenience of reference only and are not a part hereof, and shall not limit or define the meaning of any provision hereof.

The motion for the adoption of the foregoing resolution was duly seconded by member _____ and, after a full discussion thereof and upon a vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

Whereupon the resolution was declared duly passed and adopted.

STATE OF MINNESOTA
COUNTIES OF BENTON AND STEARNS
CITY OF SARTELL

I, the undersigned, being the duly qualified and acting Administrator/Finance Director of the City of Sartell, Minnesota, DO HEREBY CERTIFY that I have compared the attached and foregoing extract of minutes with the original thereof on file in my office, and that the same is a full, true and complete transcript of the minutes of a meeting of the City Council, duly called and held on the date therein indicated, insofar as such minutes relate to authorizing the issuance and awarding the sale of \$5,500,000 General Obligation Tax Abatement Bonds, Series 2015A.

WITNESS my hand on July __, 2015.

Administrator/Finance Director

EXHIBIT A

Proposals

[To be supplied by Ehlers & Associates, Inc.]

SARTELL CITY COUNCIL

AGENDA COVER SHEET

Originating Department: Administration & Consulting Team	Meeting Date: July 13, 2015	Agenda Item No. 4b
Agenda Section: Special Presentations	Item: Community Center	

This is to follow up on some of the discussion from your June 22nd meeting:

PROJECT SIZE

Attached are the various program and cost estimates from the 2002/03 planning process. You can see that the plan for the 2002/03 community center, without the ice arena included, actually exceeded the preliminary programming space we suggested for consideration in 2015 (the 2002/03 cost estimate also exceeded \$8 million - even using low square footage pricing for that time and without interest or all soft costs included). This isn't to say we have hit the right size yet in your 2015 process, but just to point out that what is being discussed for 2015 is not out of line with prior planning efforts and budgets.

RECREATIONAL VS NON-RECREATIONAL SPACE

You will see that the 2002/03 outcome was heavily recreational with no senior/community meeting room space planned. The only meeting room space was a party room related to the indoor pool amenity. The notes from that time show the task force discussed 2 vs 3 gym courts, and ruled out 2 courts since it wouldn't provide for a favorable walking track distance. The 2015 preliminary program space has much more balance between recreational and non-recreational space when compared to the last community center planning effort. In fact, our 2015 initial space program has 4,000 more square feet of non-recreational community space than even the 2013 community resource facilities task force plan. We will bring back more analysis for Council as far as 2, 3, and 4 court options in your 2015 planning.

COMMUNITY CENTER MOVED SLOWLY

While it is true that Sartell has been talking about a community center for 20 years, you have never before had the funding source to make it a reality. A 1999 sales tax referendum passed in Sartell but not in St. Cloud so no sales tax authority was achieved at that time. Sartell voters in the year 2000 rejected building a center with property tax and so work continued toward a viable sales tax option. The 2002 sales tax legislation only authorized 3 years of collections and the 2006 voter extension approved four different funding areas with only a portion dedicated toward "community resource facilities". The November 2014 voter authorization offers the first adequate funding opportunity.

SPENDING ALL THE MONEY NOW

The Council had good discussion about how much sales tax money to spend now vs reserving for future uses. We have more information and options to deliver before you are asked to approve a total project cost, and you may find a lower project cost meets the community's goals. But even if you approved a total project cost of \$11.5 million, after paying that principal amount plus all of the interest on that debt, it would still leave over \$3 million for future expenditures at a 3% growth rate. At the 5% growth rate, you would be leaving over \$7 million for future expenditures within this parks/community center category. At this point, everything from capital costs to bond interest rates are estimates, and so there are many details and decision points yet to come where hard numbers are in front of you and choices need to be made. But keep in mind that your past 8 years of sales tax growth exceeded 10% annualized, so it is not unreasonable to assume future Councils will benefit from a healthy growth rate in collections.

SITE OPTIONS

The combination of senior space, branch library, community gathering space, and multi-purpose gymnasium space were the priority uses we found most compatible and most likely to offer both operational efficiencies and shared space possibilities to reduce capital costs. However, the balance among those spaces is yet to be determined, and the affordability of both construction and operations certainly needs more review. At Monday's meeting, we will look at a number of site criteria and options for review and discussion and more direction on both our site focus and whether we continue looking at splitting the project between two sites. While no final site decision is being requested – we would like to get Council direction on a number of sites and site factors so we can focus in on your priorities when doing more thorough analysis and schematics.



Sartell Community Center
Sartell Minnesota

February 5, 2003

Preliminary Program and Cost - Complete Facility with Ice Arena

Space Description	area (GSF)	quantity	area	total area	cost/unit	total cost	Notes
Library	8,000	1	8,000 s.f.				1
Total Library				8,000 s.f.	\$ 80.00	\$ 640,000	
Indoor Gymnasium	20,309	1	20,309 s.f.				2
Equipment (standards, backboards)						\$ 152,613	
Equipment Checkout	252	1	252 s.f.				
Storage	1,500	1	1,500 s.f.				
Total Gymnasium				22,061 s.f.	\$ 82.00	\$ 1,809,004	
Elevated Walking Track	4,507	1	4,507 s.f.		\$ 16.00	\$ 72,108	
Stairs	400	2	800 s.f.		\$ 70.00	\$ 56,000	
Toilets/Locker Rooms							3
Men's & Women's	1,333	1	1,333 s.f.				
Family	144	2	288 s.f.				
				1,621 s.f.	\$ 115.00	\$ 186,415	
Pool Building Shell	13,200	1	13,200 s.f.		\$ 84.00	\$ 1,108,800	4
Pool and Pool Equipment						\$ 660,000	10
Additional locker space	1,867	1	1,867 s.f.		\$ 78.00	\$ 145,626	5
Additional Family Locker rooms	144	4	576 s.f.		\$ 115.00	\$ 66,240	5
				15,643 s.f.			
Party Room/Meeting room off pool storage	1,250	1	1,250 s.f.				6
	250	1	250 s.f.				
				1,500 s.f.	\$ 87.00	\$ 130,500	
Concessions	220	1	220 s.f.		\$ 100.00	\$ 22,000	
Office	150	1	150 s.f.				
Workroom	100	1	100 s.f.				
Administrative Assistant	130	1	130 s.f.				
Conference for 10	200	1	200 s.f.				
				580 s.f.	\$ 100.00	\$ 58,000	
Elevator						\$ 50,000	
Elevator							
Equipment room	42	1	42 s.f.		\$ 50.00	\$ 2,100	
				42 s.f.			
Lobby	3,000	1	3,000 s.f.				8
Vestibule	72	1	72 s.f.				
				3,072 s.f.	\$ 80.00	\$ 245,760	
Mechanical Space				3,483 s.f.	\$ 50.00	\$ 174,137	9
Circulation				4,644 s.f.	\$ 80.00	\$ 371,493	
Ice Arena				35,100 s.f.		\$ 1,888,198	11
Equipment						\$ 274,200	
Site			95,965 s.f.		\$ 6.00	\$ 505,593	
Parking - paving			190,825 s.f.		\$ 1.50	\$ 286,238	
Parking Curbing			4,760 l.f.		\$ 10.00	\$ 47,600	
Total Area & Construction Cost				95,965 s.f.		\$ 8,952,624	
Contingency (15% except 5% on Ice Arena)						\$ 1,095,273	
Furnishings and Equipment (7% except gymnasium and Ice Arena)						\$ 308,998	
Fees						\$ 683,316	
Total						\$ 11,040,212	

NOTES:

- 1 Minimum required by Great River Regional Library
- 2 3 basketball courts and 4 volleyball courts. Similar to Whitney Center Gymnasium (106'-8" x 191')
- 3 Bathrooms and Showers, minimal locker room space
- 4 Similar in size to the indoor portion of the pool at Becker
- 5 Similar in size to the locker rooms at Becker
- 6 Room for 50 persons
- 7 Assumes 7' wide walking track elevated above gym. At grade walking track would be slightly larger.
- 8 Lobby at Whitney Center = 5,100 s.f.; Lobby at Becker equal 2,782 s.f.
- 9 Pool Equipment room included in Pool Area
- 10 Similar to pool at Becker
- 11 Ice Arena includes space for concessions, lobby, and mechanical space



Sartell Community Center
Sartell Minnesota

September 30, 2002

Preliminary Program - Complete Facility

Space Description	area (GSF)	quantity	area	total area	cost/unit	total cost	Notes
Library	8,000	1	8,000 s.f.				1
Total Library				8,000 s.f.	\$ 80.00	\$ 640,000	
Indoor Gymnasium	20,309	1	20,309 s.f.				2
Equipment (standards, backboards)						\$ 152,613	
Equipment Checkout	252	1	252 s.f.				
Storage	1,500	1	1,500 s.f.				
Total Gymnasium				22,061 s.f.	\$ 82.00	\$ 1,809,004	
Elevated Walking Track	4,507	1	4,507 s.f.		\$ 16.00	\$ 72,108	
Stairs	400	2	800 s.f.		\$ 70.00	\$ 56,000	
Toilets/Locker Rooms							3
Men's & Women's	1,333	1	1,333 s.f.				
Family	144	2	288 s.f.				
				1,621 s.f.	\$ 115.00	\$ 186,415	
Pool Building Shell	13,200	1	13,200 s.f.		\$ 84.00	\$ 1,108,800	4
Pool and Pool Equipment						\$ 660,000	10
Additional locker space	1,867	1	1,867 s.f.		\$ 78.00	\$ 145,626	5
Additional Family Locker rooms	144	4	576 s.f.		\$ 115.00	\$ 66,240	5
				15,643 s.f.			
Party Room/Meeting room off pool storage	1,250	1	1,250 s.f.				6
	250	1	250 s.f.				
				1,500 s.f.	\$ 87.00	\$ 130,500	
Recessions	220	1	220 s.f.				
				220 s.f.	\$ 100.00	\$ 22,000	
Office	150	1	150 s.f.				
Workroom	100	1	100 s.f.				
Administrative Assistant	130	1	130 s.f.				
Conference for 10	200	1	200 s.f.				
				580 s.f.	\$ 100.00	\$ 58,000	
Elevator						\$ 50,000	
Elevator							
Equipment room	42	1	42 s.f.				
				42 s.f.	\$ 50.00	\$ 2,100	
Lobby	3,000	1	3,000 s.f.				8
Vestibule	72	1	72 s.f.				
				3,072 s.f.	\$ 80.00	\$ 245,760	
Mechanical Space				3,483 s.f.	\$ 50.00	\$ 174,137	9
Circulation				4,644 s.f.	\$ 80.00	\$ 371,493	
Site			60,865 s.f.		\$ 6.00	\$ 365,193	
Parking - paving			110,000 s.f.		\$ 1.50	\$ 165,000	
Parking Curbing			2,300 l.f.		\$ 10.00	\$ 23,000	
Total Area & Construction Cost				60,865 s.f.		\$ 6,503,989	
Contingency (15%)						\$ 975,598	
Furnishings and Equipment (7% except gymnasium)						\$ 308,998	
Fees						\$ 455,279	
Total						\$ 8,243,865	

NOTES:

- 1 Minimum required by Great River Regional Library
- 2 3 basketball courts and 4 volleyball courts. Similar to Whitney Center Gymnasium (106'-8" x 191')
- 3 Bathrooms and Showers, minimal locker room space
- 4 Similar in size to the indoor portion of the pool at Becker
- 5 Similar in size to the locker rooms at Becker
- 6 Room for 50 persons
- 7 Assumes 7' wide walking track elevated above gym. At grade walking track would be slightly larger.
- 8 Lobby at Whitney Center = 5,100 s.f.; Lobby at Becker equal 2,762 s.f.
- 9 Pool Equipment room included in Pool Area
- 10 Similar to pool at Becker

June 22, 2015

**CITY COUNCIL MEETING
MINUTES OF JUNE 22, 2015**

Pursuant to due call and notice thereof, a special meeting of the Sartell City Council was held on June 22, 2015 in the Council Chambers of Sartell City Hall. Mayor Sarah Jane Nicoll called the meeting to order at 6:00 p.m.

COUNCIL PRESENT: Mayor Nicoll, Council members: Braig-Lindstrom, Hennes, Lynch, Peterson
ABSENT: None
ALSO PRESENT: Mary Degiovanni, City Administrator
Anita Rasmussen, Community Development Director
Mike Nielson, Engineer
Judy Molitor, Recording Secretary
Murray Mack, Community Center Project Architect
Bob Strack, Community Center Project Construction Manager
Lyle Mathiasen, Community Center Project Operations Consultant

PLEDGE OF ALLEGIANCE

AGENDA REVIEW AND ADOPTION

A MOTION WAS MADE BY COUNCIL MEMBER LYNCH AND SECONDED BY MEMBER HENNES APPROVING THE AGENDA AS PRESENTED. THE MOTION CARRIED UNANIMOUSLY.

OPEN FORUM/PUBLIC COMMENT

None

APPROVAL OF CITY COUNCIL MINUTES

- a. June 8, 2015 – Regular Meeting

A MOTION WAS MADE BY COUNCIL MEMBER HENNES AND SECONDED BY MEMBER LYNCH APPROVING THE MINUTES AS PRESENTED. THE MOTION CARRIED UNANIMOUSLY.

CONSENT AGENDA

- a. Approval of voucher payments
- b. Approval of Resolution for Advance of MSA Funds
- c. Approval of Resolution Authorizing Abatement
- d. Appointment of Utility Systems Operator
- e. Approval to order budgeted Fire Department computer replacements (trucks 22 & 29)
- f. Calling public hearing (s) on a Rezoning and Land Use Amendment
- g. Calling public hearing for a Subdivision Ordinance Amendment

A MOTION WAS MADE BY COUNCILMEMBER PETERSON AND SECONDED BY MEMBER BRAIG-LINDSTROM APPROVING CONSENT AGENDA ITEMS A-G. THE MOTION CARRIED UNANIMOUSLY.

June 22, 2015

OLD BUSINESS

a. Community Center

City Administrator Degiovanni overviewed a power point presentation with background information from past community input as well as the more recent input taken on the community center project. Priorities heard from the input included:

- Community Center that is multi-purpose
- Community Center that serves all ages
- Community Center that is well planned and factors in operational costs and impacts, as well as numerous factors regarding site location
- Explore partnerships between City/School and other partners
- User groups are willing to work together so everyone benefits rather than one group getting 100% of what they want while another priority gets nothing - examples are flexible library/senior/community space; and shared ice arena/fieldhouse space

Sales tax projections and how other City priorities can still be funded with a variety of available funding sources was also reviewed. Murray Mack went over initial programming space options and their estimated costs, including the additional costs that need to be factored into any project like this, such as financing costs and furniture, fixtures and equipment.

City Council members made the following comments, although comments do not reflect entire statements made:

Council member Hennes expressed concern about the amount of gym space compared to senior/library/community space. He thinks there are advantages to having everything under one roof and having the ability to add on to the building at a later date.

Council member Peterson talked about his concern on operating costs as well as making sure the facility is accessible to multiple users. He suggested using the City's existing land to meet location needs for the facility and agrees with future expandable space. He would like to explore having amenities on multiple sites rather than under one roof.

Council member Lynch is reluctant to approve building something as big as suggested tonight and spending all of the sales tax money for a facility now. Lynch believes the City should be cautious, look to the future and build a conservative center now and add amenities at a later date if space is needed. He is open to having amenities on multiple sites rather than under one roof.

Council member Braig-Lindstrom said she is not an advocate of only one facility, she prefers adding on to Bernick's Arena as well as City Hall and agrees with member Lynch's comment about not spending all the money on one location. She mentioned a lighted trail between City Hall and Bernick's Arena helping to make the two site option workable.

Mayor Nicoll agrees that, even though it would be nice to build a large center, the City cannot afford to build all amenities at one time, so realistically the City needs to scale this version down to an affordable version and add to it at a later date, if the need arises. Nicoll talked about the need for a senior center with a multi generation recreational component and so locating under one roof makes sense to her.

June 22, 2015

After discussion, consensus of the Council was to have the consultants return with more information on having all amenities under one roof vs split between two sites. There was discussion of keeping the cost limited to \$10 million but no decision on that was made yet.

ADJOURN

A MOTION WAS MADE BY COUNCIL MEMBER BRAIG-LINDSTROM AND SECONDED BY MEMBER LYNCH TO ADJOURN THE MEETING AT 8:05 P.M. THE MOTION CARRIED UNANIMOUSLY.

Minutes By

Judy Molitor
Recording Secretary

Sarah Jane Nicoll
Mayor

**SARTELL CITY COUNCIL
SPECIAL MEETING**

MINUTES OF JULY 7, 2015

Pursuant to due call and notice thereof, a special meeting was held on July 7, 2015 in the conference room of the Sartell City Hall. Mayor Nicoll called the meeting to order at 5:30 p.m.

COUNCIL PRESENT: Mayor Sarah Jane Nicoll, Pat Lynch, Amy Braig Lindstrom, David Peterson, Steve Hennes

COUNCIL ABSENT: None

ALSO PRESENT: Anita Rasmussen, Community Development Director/Assist City Administrator
Brad Border, Public Works Director

COMMISSION INTERVIEWS

Interviews were held for one position on the Park Commission.

A majority of the council supported the appointment of Mike Burzette to the Park Commission to fulfill the remainder of a 3 year term which would end on December 31, 2017. A resolution will be added to the July 13, 2015 consent agenda officially appointing Mr. Burzette to the Commission.

OTHER BUSINESS

None

ADJOURN

THE MAYOR ADJOURNED THE MEETING AT 6:45 P.M.

Anita Rasmussen
Planning and Community Development Director

Mayor

City of Sartell
Construction Activity Report

TOTALS:	Jun-11	Jun-12	Jun-13	Jun-14	Jun-15
Single Family Permits	7	3	7	8	5
Single Family Permits YTD	22	17	21	30	24
Single Family Valuation	\$1,566,000.00	\$568,300.00	\$1,311,300.00	\$1,755,600.00	\$1,020,900.00
Single Family Valuation YTD	\$4,700,400.00	\$3,431,900.00	\$4,638,300.00	\$7,899,000.00	\$5,226,150.00
Residential Remodel Permits	30	119	58	67	27
Residential Remodel Permits YTD	133	427	155	155	138
Residential Remodel Valuation	\$120,700.00	\$169,975.00	\$323,987.00	\$243,500.00	\$102,500.00
Residential Remodel Valuation YTD	\$792,804.00	\$920,985.00	\$1,528,987.00	\$744,150.00	\$1,187,000.00
Commercial Permits	1	7	7	4	3
Commercial Permits YTD	20	19	23	18	14
Commercial Valuation	\$290,500.00	\$4,230,622.00	\$1,170,900.00	\$296,000.00	\$67,000.00
Commercial Valuation YTD	\$1,949,236.00	\$5,327,872.00	\$3,258,069.00	\$834,300.00	\$4,533,500.00
Multi Family Permits	0	1	3	0	1
Multi Family Permits YTD	1	5	8	0	3
Number of Units	0	0	0	0	0
Number of Units YTD	0	38	0	0	0
Multi Family Valuation	\$0.00	\$8,200,000.00	\$773,100.00	\$0.00	\$5,000.00
Multi Family Valuation YTD	\$3,500.00	\$12,299,133.00	\$882,600.00	\$0.00	\$4,231,000.00
Plumbing Permits	25	27	44	39	18
Plumbing Permits YTD	142	145	204	188	173
Plumbing Valuation	0	0	0	\$13,650.00	\$261,500.00
Plumbing Valuation YTD	0	0	0	\$81,433.00	\$295,726.00
Mechanical Permits	22	16	26	23	18
Mechanical Permits YTD	111	92	154	130	96
Mechanical Valuation	0	0	0	\$20,670.00	\$14,231.88
Mechanical Valuation YTD	0	0	0	\$383,029.00	\$143,345.88
Fire Alarm Permits	0	1	0	0	1
Fire Alarm Permits YTD	6	6	3	2	6
Fire Alarm Valuation	\$0.00	\$7,400.00	\$0.00	\$0.00	\$3,140.00
Fire Alarm Valuation YTD	\$8,833.00	\$13,382.64	\$44,244.00	\$9,200.00	\$7,336.00
Sprinkler System Permits	0	1	0	0	0
Sprinkler System Permits YTD	11	11	3	4	7
Sprinkler System Valuation	\$0.00	\$19,357.00	\$0.00	\$0.00	\$0.00
Sprinkler System Valuation YTD	\$87,645.50	\$70,836.00	\$60,584.42	\$6,386.00	\$28,212.00
Zoning Permits	9	13	9	34	27
Zoning Permits YTD	34	62	41	65	82
Zoning Permit Fees	\$280.00	\$500.00	\$360.00	\$1,250.00	\$1,015.00
Zoning Permit Fees YTD	\$1,175.00	\$2,425.00	\$1,640.00	\$2,455.00	\$2,955.00
Total Combined Permits	94	188	154	175	100
Total Combined Permits YTD	480	784	612	592	543
Combined Permit Valuation	\$1,977,200.00	\$13,195,654.00	\$3,579,287.00	\$2,329,420.00	\$1,474,271.88
Combined Permit Valuation YTD	\$7,542,418.50	\$22,064,108.64	\$10,412,784.42	\$9,957,498.00	\$15,652,269.88

City of Sartell
 Building Department
 Inspection Activity
 June 2015

Building Inspections		# of Inspections	YTD Inspections	LYTD	
	Residential	135	817	458	
	Commercial	16	117	61	
	Multifamily	9	24	117	
	Total	160	958	636	
Fire Inspections		Type & # of ins expected	# of Inspections	YTD Inspections	LYTD
	Business (65)		5	56	59
	Church (3)		0	1	8
	Education (7)		0	2	1
	Factory (1)		0	3	0
	Institution (1)		0	0	1
	Medical (22)		3	16	27
	Multifamily (21)		0	0	2
	Restaurant (8)		1	10	7
	Retail (19)		2	11	11
	Daycare/Foster		2	4	9
	Total (147)		13	103	125
Rental Inspections		# of Inspections	YTD	LYTD	
	SFD	6	41	65	
	Multifamily	0	14	27	
	Total	6	55	92	
Zoning Inspection		# of Inspections	YTD	LYTD	
	Shed	5	9	5	
	Fence	3	10	6	
	Lawn Irrigation	0	0	1	
	Curb Cut	0	1	2	
	Pool	0	0	0	
	Decks	0	0	0	
	Parking Pad	1	2	0	
	Land Disturbance	0	0	0	
	Total	9	22	12	
Fire Response		Responses	YTD	LYTD	
	Fire	0	5	9	
	Emer. Response	0	2	3	
	CO	0	1	0	
	Gas Leak	0	1	3	
	Alarm	2	3	0	
	Other	0	0	1	
	Total	2	12	16	
Fire Department		Responses	YTD	LYTD	
	Truck Check	1	5	4	
	Mtg.	0	5	5	
	Fire Flows	0	1	0	
	Other	14	25	22	
	Total	15	36	31	
Emer. Mgmt.				LYTD	
			0	0	
Complaints				LYTD	
			0	0	
Hazardous and/or sub standard buildings				LYTD	
			0	1	
Meetings				LYTD	
				0	

I.T. Department Monthly Update

Submitted by Rebecca Wicklund

June 2015

I.T. and Technology

Police: Worked on Speed Trailer with Amber, Ran scans to try to improve speed issues on Jim, Dale, and Laptop 16 computers. Main issue is slow speed to the County where all the data is stored. County is unwilling to move us up on new technology where it would improve our speed.

City Hall: Computer updates on Lenovo computer, Peggy's computer crashed, needed network settings restored. Installed scanning folders for new copier on network. Worked with Marco to install new copier driver on everyone's computer.

General: Worked on 2016 Budget, replaced bad hard drive in Synology Backup, resynced to system. Worked on school speed sign.

SeeClickFix

The June SeeClickFix monthly report is attached.



Sartell, MN

Between Jun 01, 2015 and Jun 30, 2015

24 issues were opened

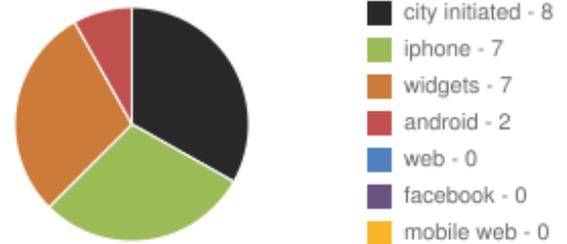
4 issues were acknowledged

26 issues were closed

The average time to acknowledge was 2.1 days.

The average time to close was 19.3 days.

Issues by Source



SERVICE REQUEST TYPE	OPENED	ACKNOWLEDGED	CLOSED	DAYS TO ACK.	DAYS TO CLOSE
Other	7	1	4	0.3	4.6
Dead Animal Collection	3	0	3	0.0	0.4
High Grass/Weeds	2	0	3	0.0	8.0
Illegal Signs	2	0	3	0.0	5.2
Street Repair	2	0	3	0.0	25.9
Park Issue/Maintenance	2	0	2	0.0	0.8
Parking Issue	1	1	2	0.0	17.7
Public Safety Concern	2	1	1	1.9	1.9
Street Light Out	1	1	1	5.9	5.9
Zoning Issues	1	0	2	0.0	45.0
Abandoned Items	1	0	0	0.0	0.0
Noise Issues	0	0	1	0.0	12.9
Pothole	0	0	1	0.0	218.1
Broken Glass	0	0	0	0.0	0.0
Building without a Permit	0	0	0	0.0	0.0
Burning/Fire Pit Issue	0	0	0	0.0	0.0
Construction Issues	0	0	0	0.0	0.0
Fallen Tree	0	0	0	0.0	0.0
Fire Hydrant Issue	0	0	0	0.0	0.0
Garbage Issues - Public	0	0	0	0.0	0.0

Property					
Garbage Issues- Private Property	0	0	0	0.0	0.0
Graffiti	0	0	0	0.0	0.0
Icy Road Condition	0	0	0	0.0	0.0
Low Water Pressure	0	0	0	0.0	0.0
Missing Street Sign	0	0	0	0.0	0.0
Rental Property Issues	0	0	0	0.0	0.0
Request Street Lights	0	0	0	0.0	0.0
Request Street Signs	0	0	0	0.0	0.0
Sediment and Erosion Control	0	0	0	0.0	0.0
Sewer/Water Backup	0	0	0	0.0	0.0
Sidewalk/Bike Path Issue	0	0	0	0.0	0.0
Snow Plow Issue	0	0	0	0.0	0.0
Special Request	0	0	0	0.0	0.0
Street Cleaning Request	0	0	0	0.0	0.0
Street Light Stuck On	0	0	0	0.0	0.0
Traffic Signal Issue	0	0	0	0.0	0.0
Unoperable Vehicles on Private Property	0	0	0	0.0	0.0

GEOGRAPHY	OPENED	ACKNOWLEDGED	CLOSED	DAYS TO ACK.	DAYS TO CLOSE
City boundary	24	4	26	2.1	19.3



Sartell Fire Department

Proudly Serving The City of Sartell since 1920

Monthly Report for June, 2015

Meetings & Drills

6/16/2015 Department Monthly Drill: The Department received training on First arriving company Incident Command. Members were trained on what the first arriving unit setting Incident Command and doing size up. This involved Officer in Charge doing a size up, assigning tasks, giving a scene size up and assignments to all responding units or other agencies.

Monthly Incidents:

Incident #	Date	Alarm Time	Incident
15-0000058	06/02/15	17:07	Car Crash
15-0000059	06/03/15	19:24	False Alarm
15-0000060	06/04/15	20:45	Smoke Removal
15-0000061	06/05/15	15:35	Dispatched Cancelled
15-0000062	06/05/15	15:25	Car Fire
15-0000063	06/06/15	11:30	Power Line Down
15-0000064	06/06/15	14:04	Good Intent
15-0000065	06/07/15	00:01	Street Flooding
15-0000066	06/07/15	00:46	Good Intent
15-0000067	06/08/15	22:25	False Alarm
15-0000068	06/09/15	22:29	Gas Leak
15-0000069	06/11/15	06:33	Service Call
15-0000070	06/11/15	23:48	Lift Assist
15-0000071	06/12/15	15:08	Mutual Aid (Structure Fire)
15-0000072	06/13/15	14:21	False Alarm
15-0000073	06/14/15	04:21	Missing Person
15-0000074	06/14/15	18:30	False Alarm
15-0000075	06/18/15	17:06	Gas Leak
15-0000076	06/19/15	20:40	Brush Fire
15-0000077	06/20/15	06:31	Anhydrous Leak
15-0000078	06/22/15	12:19	C.O. Call
15-0000079	06/24/15	04:50	False Alarm
15-0000080	06/26/15	16:12	Power Line Down
15-0000081	06/27/15	21:55	Lighting Strike

15-0000082	06/27/15	21:55	Power Line Down
15-0000083	06/28/15	17:23	False Alarm
15-0000084	06/29/15	08:15	False Alarm
15-0000085	06/30/15	10:09	False Alarm

Year to Date comparison from 2014 (70) incidents 2015 (85) incidents

Respectfully Submitted By

Claude Dingmann 1st Asst, Chief

Vendor Transactions-Agenda Packet

CHECK	Check Date	Batch Name	Invoice	Amount	Comments
Search Name ABLE TREE SERVICE					
	0715PW01		201565	\$245.00	TREE REMOVAL
	0715PW01		201565	\$85.00	TREE REMOVAL
Search Name ABLE TREE SERVICE				\$330.00	
Search Name ALEX AIR APPARATUS INC					
	0715FD01		27608	\$607.00	REPAIRS-FD EQUIP
Search Name ALEX AIR APPARATUS INC				\$607.00	
Search Name AMERIPRIDE LINEN/APPAREL SERV					
	0715PW01		2200660860	\$41.75	TOWELS,MOPS,MATS-PLANTS
	0715PW01		2200660861	\$46.94	TOWELS,MOPS,MATS-PLANTS
	0715PW01		2200660862	\$42.27	TOWELS,MOPS,MATS-PLANTS
	0715PW01		2200660869	\$21.23	UNIFORMS
	0715PW01		2200660869	\$13.70	UNIFORMS
	0715PW01		2200660869	\$40.77	UNIFORMS
	0715PW01		2200660869	\$8.15	MATS,TOWELS,MOPS-MAINT
	0715PW01		2200660869	\$6.81	UNIFORMS
	0715PW01		2200662955	\$19.01	MATS,TOWELS,MOPS-MAINT
	0715PW01		2200662955	\$6.81	UNIFORMS
	0715PW01		2200662955	\$21.23	UNIFORMS
	0715PW01		2200662955	\$13.70	UNIFORMS
	0715PW01		2200662955	\$40.77	UNIFORMS
	0715PD01		2200662956	\$50.81	TOWELS,MATS-PD
	0715ADM01		2200662965	\$39.21	TOWELS,MATS-HALL
	0715PW01		2200665708	\$52.33	UNIFORMS
	0715PW01		2200665708	\$16.16	UNIFORMS
	0715PW01		2200665708	\$37.78	UNIFORMS
	0715PW01		2200665708	\$6.65	UNIFORMS
	0715PW01		2200665708	\$19.58	MATS,TOWELS,MOPS-MAINT
	0715PW01		220066703	\$30.66	TOWELS,MOPS,MATS-MAINT
	0715ADM01		220066720	\$39.21	TOWELS,MATS-HALL
	0715PW01		2200667701	\$13.46	UNIFORMS
	0715PW01		2200667701	\$84.01	MOPS,TOWELS,MATS-MAINT
	0715PW01		2200667701	\$35.78	UNIFORMS
	0715PW01		2200667701	\$6.65	UNIFORMS
	0715PW01		2200667701	\$39.43	UNIFORMS
Search Name AMERIPRIDE LINEN/APPAREL SERV				\$794.86	
Search Name ANDERSON AUTO BODY					
	0715PD01		851	\$670.00	REPAIRS-SQUAD
Search Name ANDERSON AUTO BODY				\$670.00	
Search Name ANDERSON METAL FABRICATING					
	0715FD01		1295	\$140.00	REPAIRS-FD #24
Search Name ANDERSON METAL FABRICATING				\$140.00	
Search Name ANDY S TOWING LLC					
	0715FD01		161765	\$65.00	TOWING-FD #26
Search Name ANDY S TOWING LLC				\$65.00	
Search Name ASTECH CORP					
	0715PW01		15-131	\$3,917.17	PATCH GRIT
Search Name ASTECH CORP				\$3,917.17	

Vendor Transactions-Agenda Packet

CHECK	Check Date	Batch Name	Invoice	Amount	Comments
Search Name AT&T MOBILITY					
		0715PW01	287256356792X0	\$11.41	PHONE SERVICE
		0715PW01	287256356792X0	\$98.45	PHONE SERVICE
		0715PW01	287256356792X0	\$30.00	IPAD SERV-KOTHENBEUTEL
Search Name AT&T MOBILITY				\$139.86	
Search Name ATCHINSON, ALAN/COLLEEN					
		0715ADM01	717 20TH AVE N	\$503.29	REIMB-FINAL UTIL BILL
Search Name ATCHINSON, ALAN/COLLEEN				\$503.29	
Search Name BEHRENBRINKER, STEPHEN C					
		0715ADM01	07-2015	\$3,381.25	ASSESSING SERVICES-JULY
Search Name BEHRENBRINKER, STEPHEN C				\$3,381.25	
Search Name BREMER BANK NA					
		0715ADM01	08-01-2015	\$11,233.50	ARENA ABATEMENT
Search Name BREMER BANK NA				\$11,233.50	
Search Name BROCK WHITE CO, LLC					
		0715PW01	12541038-00	-\$422.50	POSTS-PC CENTRAL PARK
		0715PW01	12547451-00	\$665.33	REPAIRS-POTHOLE PATCHER
		0715PW01	12555780-00	\$3,000.00	CRACKFILLING
Search Name BROCK WHITE CO, LLC				\$3,242.83	
Search Name BURL OAKS TOWNHOMES					
		0715ADM01	TIF 5-5	\$13,292.95	TIF DISTRICT 5-5
Search Name BURL OAKS TOWNHOMES				\$13,292.95	
Search Name CENTRAL LOCKSMITHS					
		0715PW01	123070	\$25.00	KEYS
Search Name CENTRAL LOCKSMITHS				\$25.00	
Search Name CENTRAL MCGOWAN, INC.					
		0715PW01	00044062	\$18.00	CYLINDER RENTAL
Search Name CENTRAL MCGOWAN, INC.				\$18.00	
Search Name CHARTER COMMUNICATIONS					
067431	6/25/2015	0615PPD03	835230105015776	\$88.53	INTERNET/TV SERV-FD
067431	6/25/2015	0615PPD03	835230105018283	\$81.68	INTERNET/TV SERV-HALL
067431	6/25/2015	0615PPD03	835230105018589	\$64.99	INTERNET SERV-PLANT
067431	6/25/2015	0615PPD03	835230105019398	\$72.67	INTERNET/TV SERV-MAINT
067431	6/25/2015	0615PPD03	835230105019617	\$74.99	INTERNET SERV-PLANT
Search Name CHARTER COMMUNICATIONS				\$382.86	
Search Name COLONIAL LIFE					
067439	6/29/2015	0615PPD03	3506136-0701596	\$89.10	PAYROLL DEDUCTION-JUN
067439	6/29/2015	0615PPD03	3506136-0701596	\$53.00	PAYROLL DEDUCTION-JUN
Search Name COLONIAL LIFE				\$142.10	
Search Name CONNEXUS ENERGY					
		0715PW01	712517-296959	\$3,586.25	STREET LIGHTS
Search Name CONNEXUS ENERGY				\$3,586.25	
Search Name CRESCENT ELECTRIC SUPPLY					
		0715PW01	S500662143.001	\$11.92	BULBS-LIFT STATION
Search Name CRESCENT ELECTRIC SUPPLY				\$11.92	

Vendor Transactions-Agenda Packet

CHECK	Check Date	Batch Name	Invoice	Amount	Comments
Search Name EFTPS VOICE RESPONSE SYSTEM					
002571E	6/22/2015	0615PPD03	06-19-2015	\$3,538.61	06/19 EMPLOYER FICA
002571E	6/22/2015	0615PPD03	06-19-2015	\$1,377.07	06/19 EMPLOYEE MEDICARE
002571E	6/22/2015	0615PPD03	06-19-2015	\$1,377.07	06/19 EMPLOYER MEDICARE
002571E	6/22/2015	0615PPD03	06-19-2015	\$9,562.62	06/19 FED TAX W/HELD
002571E	6/22/2015	0615PPD03	06-19-2015	\$3,538.61	06/19 EMPLOYEE FICA
002577E	6/30/2015	0615PPD03	06-30-2015	\$661.58	06/30 EMPLOYER FICA
002577E	6/30/2015	0615PPD03	06-30-2015	\$182.62	06/30 EMPLOYEE MEDICARE
002577E	6/30/2015	0615PPD03	06-30-2015	\$661.58	06/30 EMPLOYEE FICA
002577E	6/30/2015	0615PPD03	06-30-2015	\$182.62	06/30 EMPLOYER MEDICARE
002577E	6/30/2015	0615PPD03	06-30-2015	\$358.82	06/30 FED TAX /WHELD
002579E	7/6/2015	0715PPD01	07-03-2015	\$3,700.17	07/03 EMPLOYER FICA
002579E	7/6/2015	0715PPD01	07-03-2015	\$1,503.40	07/03 EMPLOYEE MEDICARE
002579E	7/6/2015	0715PPD01	07-03-2015	\$3,700.17	07/03 EMPLOYEE FICA
002579E	7/6/2015	0715PPD01	07-03-2015	\$1,503.40	07/03 EMPLOYER MEDICARE
002579E	7/6/2015	0715PPD01	07-03-2015	\$10,931.67	07/03 FED TAX W/HELD
Search Name EFTPS VOICE RESPONSE SYSTEM				\$42,780.01	
Search Name ELECTRIC MOTOR SERVICE, INC					
		0715PW01	IN0205156	\$366.14	REPAIRS-POOLS
Search Name ELECTRIC MOTOR SERVICE, INC				\$366.14	
Search Name EMERGENCY AUTOMOTIVE TECH INC					
		0715PD01	AW040815-7CM	-\$1,109.33	SQUAD EQUIPMENT
		0715PD01	AW051115-14	\$14.71	SQUAD EQUIPMENT
		0715PD01	AW051115-3	\$67.67	SQUAD EQUIPMENT
		0715PD01	AW051415-6	\$1,313.66	SQUAD EQUIPMENT
		0715PD01	AW051915-4	\$68.35	SQUAD EQUIPMENT
Search Name EMERGENCY AUTOMOTIVE TECH INC				\$355.06	
Search Name EMERGENCY MEDICAL PRODUCTS,INC					
		0715PD01	1744509	\$168.43	OSHA SUPPLIES-PD
Search Name EMERGENCY MEDICAL PRODUCTS,INC				\$168.43	
Search Name EMERGENCY RESPONSE SOLUTIONS					
		0715FD01	4325	\$389.10	TURN OUT GEAR-FD
		0715FD01	4383	\$46.69	TURN OUT GEAR-FD
		0715FD01	4391	\$173.01	RING BUOYS-FD
Search Name EMERGENCY RESPONSE SOLUTIONS				\$608.80	
Search Name ERKENS WATER SOFTENER SERV INC					
		0715FD01	543595	\$18.20	SOLAR SALT-FD
Search Name ERKENS WATER SOFTENER SERV INC				\$18.20	
Search Name FAIRVIEW GARDENS					
		0715PW01	TR-104644	\$76.62	FLOWERS-VETS PARK
Search Name FAIRVIEW GARDENS				\$76.62	
Search Name FASTENAL COMPANY					
		0715PW01	MNSAU145314	\$27.95	SUPPLIES-STREETS
		0715PW01	MNSAU145932	\$58.74	CRACKFILL
		0715PW01	MNSAU146036	\$0.55	REPAIRS-MAINT
Search Name FASTENAL COMPANY				\$87.24	
Search Name FERGUSON WATERWORKS #2516					

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CHECK	Check Date	Batch Name	Invoice	Amount	Comments
		0715PW01	0138914	\$3,338.40	4" COMPOUND METER-SCHOOL
		0715PW01	WL000505	\$898.84	2" METER
Search Name FERGUSON WATERWORKS #2516				\$4,237.24	
Search Name FINANCE AND COMMERCE					
		0715ADM01	742241418	\$163.50	BIDS-ROUNDAABOUTS
Search Name FINANCE AND COMMERCE				\$163.50	
Search Name FLAGSHIP RECREATION LLC					
		0715PW01	F3770	\$675.00	VOLLEYBALL/SOCCER NETS
Search Name FLAGSHIP RECREATION LLC				\$675.00	
Search Name GALLS INC					
		0715PD01	003635569	\$77.94	SQUAD EQUIPMENT
Search Name GALLS INC				\$77.94	
Search Name GATR OF SAUK RAPIDS					
		0715PW01	01P129153	\$37.40	REPAIRS-DUMP TRUCK
		0715PW01	01P129282	\$57.91	SUPPLIES-SHOP
		0715PW01	01P130338	-\$387.14	REPAIRS-DISTRIBUTION
		0715FD01	01P130878	\$148.10	REPAIRS-FD #22
		0715PW01	01P131357	\$217.25	REPAIRS-PLOWS
		0715PW01	01P131363	\$58.74	REPAIRS-DUMP TRUCKS
		0715PW01	01P131521	\$92.93	REPAIRS-DUMP TRUCKS
		0715FD01	1P131329	\$148.10	REPAIRS-FD #22
Search Name GATR OF SAUK RAPIDS				\$373.29	
Search Name GOPHER STATE ONE-CALL INC					
		0715ADM01	138581	\$961.45	JUNE LOCATES
Search Name GOPHER STATE ONE-CALL INC				\$961.45	
Search Name GRAINGER, W.W. INC.					
		0715FD01	9767789432	\$261.58	REPAIRS-FD AIR COMPRESSOR
		0715FD01	9772531530	\$333.72	REPAIRS-FD AIR COMPRESSOR
		0715FD01	9774343835	-\$261.58	REPAIRS-FD AIR COMPRESSOR
Search Name GRAINGER, W.W. INC.				\$333.72	
Search Name GUGGENBERGER APPRAISAL SERV					
		0715ADM01	061715	\$1,250.00	APPRAISAL SERV-136 CTY RD 120
Search Name GUGGENBERGER APPRAISAL SERV				\$1,250.00	
Search Name HAWKINS WTR TREATMENT GRP INC					
		0715PW01	3739000	\$1,339.00	CHEMICALS
		0715PW01	3740178	\$1,150.00	CHEMICALS
		0715PW01	3740180	\$8,737.27	CHEMICALS
		0715PW01	3740181	\$2,883.53	CHEMICALS
		0715PW01	3740841	\$3,186.25	CHEMICALS
Search Name HAWKINS WTR TREATMENT GRP INC				\$17,296.05	
Search Name HELENA CHEMICAL COMPANY					
		0715PW01	134727285	\$915.64	CHEMICALS-PARKS
Search Name HELENA CHEMICAL COMPANY				\$915.64	
Search Name HELMIN LANDSCAPING INC					
067435	6/25/2015	0615PPD03	7	\$1,900.00	VAL SMITH SHELTER
		0715PW01	9468	\$1,200.00	TREE REPLACEMENT/STUMP REMOVAL

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		0715PW01	9469	\$1,200.00	TREE REPLACEMENT/STUMP REMOVAL
Search Name HELMIN LANDSCAPING INC				\$4,300.00	
Search Name HILDI INC					
		0715ADM01	6625	\$2,750.00	AUDIT SERV-FIRE RELIEF
Search Name HILDI INC				\$2,750.00	
Search Name HORIZON COMMERCIAL POOL SUPPLY					
		0715PW01	150529004	\$1,224.80	SUPPLIES-POOL
Search Name HORIZON COMMERCIAL POOL SUPPLY				\$1,224.80	
Search Name HUSKY SPRING					
		0715PW01	S2-48601	\$46.50	REPAIRS-DUMP TRUCK
Search Name HUSKY SPRING				\$46.50	
Search Name HYDRO KLEAN LLC					
		0715PW01	52196	\$911.57	TELEVISIONING
Search Name HYDRO KLEAN LLC				\$911.57	
Search Name ING INSTITUTIONAL PLAN SERV LL					
002573E	6/22/2015	0615PPD03	06-19-2015	\$2,505.23	06/19 PAYROLL DEDUCTION
002572E	6/22/2015	0615PPD03	06-19-2015	\$184.62	06/19 EMPLOYER CONTR TO PENSION-A
002572E	6/22/2015	0615PPD03	06-19-2015	\$2,139.13	06/19 PAYROLL DEDUCTION
Search Name ING INSTITUTIONAL PLAN SERV LL				\$4,828.98	
Search Name INTEGRA TELECOM					
		0715ADM01	13086345	\$38.18	PHONE SERVICE
		0715ADM01	13086345	\$203.29	PHONE SERVICE
		0715ADM01	13086345	\$38.18	PHONE SERVICE
		0715ADM01	13086345	\$9.53	PHONE SERVICE
		0715ADM01	13086345	\$9.54	PHONE SERVICE
		0715ADM01	13086345	\$38.09	PHONE SERVICE
		0715ADM01	13086345	\$57.27	PHONE SERVICE
		0715ADM01	13086345	\$114.24	PHONE SERVICE
		0715ADM01	13086345	\$358.35	PHONE SERVICE
		0715ADM01	13086345	\$76.17	PHONE SERVICE
		0715ADM01	13086345	\$76.36	PHONE SERVICE
		0715ADM01	13086345	\$190.87	PHONE SERVICE
		0715ADM01	13086345	\$190.87	PHONE SERVICE
		0715ADM01	13086345	\$190.87	PHONE SERVICE
		0715ADM01	13086345	\$38.09	PHONE SERVICE
		0715ADM01	13086345	\$114.24	PHONE SERVICE
Search Name INTEGRA TELECOM				\$1,744.14	
Search Name INTELECONNECT INC					
		0715PW01	2072	\$17.00	WIRELESS MANAGEMENT
		0715PW01	2072	\$17.00	WIRELESS MANAGEMENT
		0715PD01	2072	\$17.00	WIRELESS MANAGEMENT
Search Name INTELECONNECT INC				\$51.00	
Search Name INTELLIGENT WIRELESS MANAGEMEN					
		0715PW01	1595	\$16.95	PHONE COVER
Search Name INTELLIGENT WIRELESS MANAGEMEN				\$16.95	
Search Name INTERSTATE ALL BATTERY CTR					
		0715FD01	1922301002345	\$438.60	BATTERIES-FD #20

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CHECK	Check Date	Batch Name	Invoice	Amount	Comments
		0715PW01	1922301002348	\$249.30	BATTERY-COMPOST TURNER
		0715FD01	1922301002348	\$38.85	BATTERIES-FD
		0715FD01	1922301002403	\$733.80	BATTERIES-FD FLOOR SCRUBBER
		0715PD01	1922301002423	\$122.30	BATTERY-PD
		0715PD01	1922301002434	\$123.10	BATTERY-PD
Search Name INTERSTATE ALL BATTERY CTR				<u>\$1,705.95</u>	
Search Name JOE S EXCAVATING INC					
067442	7/2/2015	0715PPD01	2174-17#2 & FNL	\$2,979.95	PINECONE RD POND PROJ-FINAL
Search Name JOE S EXCAVATING INC				<u>\$2,979.95</u>	
Search Name JOHN DEERE FINANCIAL					
		0715PW01	1082127	\$43.79	REPAIRS-DITCH MOWER
		0715PW01	1082812	\$799.36	REPAIRS-BERTI MOWER
		0715PW01	1085426	\$426.72	REPAIRS-SWEEPER
Search Name JOHN DEERE FINANCIAL				<u>\$1,269.87</u>	
Search Name KEEPRS INC					
		0715PD01	278913	\$18.45	UNIFORMS-PD
Search Name KEEPRS INC				<u>\$18.45</u>	
Search Name LAW ENFORCEMENT LABOR SERV INC					
		0715PD01	07-2015	\$658.00	UNION DUES-JULY
Search Name LAW ENFORCEMENT LABOR SERV INC				<u>\$658.00</u>	
Search Name LAWSON PRODUCTS INC					
		0715PW01	9303358644	\$60.10	REPAIRS-PARK VEHICLE
		0715PW01	9303386806	\$256.37	SUPPLIES-SHOP
Search Name LAWSON PRODUCTS INC				<u>\$316.47</u>	
Search Name LEGGETTE BRASHERS & GRAHAM INC					
		0715PW01	201506157	\$1,506.13	DEZURIK&SARTELL-LAGOON #3
		0715PW01	201506158	\$5,590.63	LANDFILL ANNUAL G-W MONITORING
Search Name LEGGETTE BRASHERS & GRAHAM INC				<u>\$7,096.76</u>	
Search Name LENZMEIER REAL ESTATE SERVICES					
067432	6/25/2015	0615PPD03	060115	\$2,280.00	APPRAISAL-GOVT CENTER
Search Name LENZMEIER REAL ESTATE SERVICES				<u>\$2,280.00</u>	
Search Name LMC INSURANCE TRUST					
		0715ADM01	30261	\$405.00	WORKERS COMP INS
		0715ADM01	30261	\$4,116.00	WORKERS COMP INS
		0715ADM01	30261	\$38,986.00	WORKERS COMP INS
		0715ADM01	30261	\$684.00	WORKERS COMP INS
		0715ADM01	30261	\$2,532.00	WORKERS COMP INS
		0715ADM01	30261	\$2,012.00	WORKERS COMP INS
		0715ADM01	30261	\$402.00	WORKERS COMP INS
		0715ADM01	30261	\$1,027.00	WORKERS COMP INS
		0715ADM01	30261	\$25,127.00	WORKERS COMP INS
		0715ADM01	30261	\$1,207.00	WORKERS COMP INS
		0715ADM01	30261	\$5,760.00	WORKERS COMP INS
		0715ADM01	30261	\$362.00	WORKERS COMP INS
		0715ADM01	30261	\$23,293.00	WORKERS COMP INS
		0715ADM01	30261	\$38.00	WORKERS COMP INS
		0715ADM01	30261	\$61.00	WORKERS COMP INS
		0715ADM01	30261	\$201.50	WORKERS COMP INS

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CHECK	Check Date	Batch Name	Invoice	Amount	Comments
		0715ADM01	30261	\$201.50	WORKERS COMP INS
		0715ADM01	30261	\$4,537.00	WORKERS COMP INS
		0715ADM01	30261	\$11,948.00	WORKERS COMP INS
Search Name LMC INSURANCE TRUST				\$122,900.00	
Search Name LOCATORS & SUPPLIES INC					
		0715PW01	0236292-IN	\$36.00	SAFETY SUPPLIES
		0715PW01	0236292-IN	\$134.44	SUPPLIES-MAINT
		0715PW01	0236450-IN	\$13.32	SUPPLIES-WASTEWATER
		0715PW01	0236477-IN	\$187.01	RAINWEAR-ALM
Search Name LOCATORS & SUPPLIES INC				\$370.77	
Search Name MACQUEEN EQUIPMENT INC					
		0715PW01	2153829	\$89.25	REPAIRS-SWEEPER
Search Name MACQUEEN EQUIPMENT INC				\$89.25	
Search Name MARCO - NW 7128					
		0715ADM01	INV2679112	\$107.12	STAPLES-COPIER
Search Name MARCO - NW 7128				\$107.12	
Search Name MARCO INC					
067438	6/26/2015	0615PPD03	280932757	\$389.02	COPY MACHINE-PD
067437	6/26/2015	0615PPD03	281129668	\$92.00	COPY MACHINE-PD
067437	6/26/2015	0615PPD03	281129668	\$433.00	COPY MACHINE-HALL
Search Name MARCO INC				\$914.02	
Search Name MARUDAS PRINT SERVICES					
		0715ADM01	376404	\$306.83	AP CHECKS
Search Name MARUDAS PRINT SERVICES				\$306.83	
Search Name MID CENTRAL DOOR COMPANY					
		0715PW01	0028807-IN	\$239.00	REPAIRS-PLANT
Search Name MID CENTRAL DOOR COMPANY				\$239.00	
Search Name MID MN CODE ENFORCEMENT INC					
		0715ADM01	06-2015	\$1,875.00	BLDG INSPECTIONS-JUNE
Search Name MID MN CODE ENFORCEMENT INC				\$1,875.00	
Search Name MIDSTATE INSPECTION SERV INC					
		0715ADM01	06-2015	\$2,160.00	BLDG INSPECTIONS-JUNE
Search Name MIDSTATE INSPECTION SERV INC				\$2,160.00	
Search Name MILLS PARTS CENTER-WILLMAR					
		0715PD01	3310252	\$255.13	REPAIRS-SQUAD
Search Name MILLS PARTS CENTER-WILLMAR				\$255.13	
Search Name MIMBACH FLEET SUPPLY					
		0715FD01	107564	\$39.98	REPAIRS-BOAT
		0715PW01	107568	\$279.44	SUPPLIES-PARKS
Search Name MIMBACH FLEET SUPPLY				\$319.42	
Search Name MN DEPT OF HEALTH-WELL MNGMT					
		0715PW01	594766	\$50.00	PERMIT-MONITORING WELL
		0715PW01	594767	\$50.00	PERMIT-MONITORING WELL
Search Name MN DEPT OF HEALTH-WELL MNGMT				\$100.00	
Search Name MN DEPT OF REVENUE					

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002570E	6/19/2015	0615PPD03	06-19-2015	\$4,010.38	06/19 STATE TAX W/HELD
002576E	6/30/2015	0615PPD03	06-30-2015	\$232.87	06/30 STATE TAX W/HELD
002580E	7/3/2015	0715PPD01	07-03-2015	\$4,575.10	07/03 STATE TAX W/HELD
Search Name MN DEPT OF REVENUE				\$8,818.35	
Search Name MN ELECTRONICS INC					
		0715PD01	64652	\$5.00	REPAIRS-SQUAD
Search Name MN ELECTRONICS INC				\$5.00	
Search Name MN NCPERS GRP LIFE INS-752400					
		0715ADM01	7524715	\$80.00	PAYROLL DEDUCTION-JUN
Search Name MN NCPERS GRP LIFE INS-752400				\$80.00	
Search Name MN TEAMSTERS-PUBLIC & LAW ENF					
		0715ADM01	07-2015	\$1,029.00	UNION DUES-JULY
Search Name MN TEAMSTERS-PUBLIC & LAW ENF				\$1,029.00	
Search Name MOLITOR EXCAVATING INC					
		0715PW01	196-15	\$1,785.75	REPAIRS-STORM SEWER
		0715PW01	197-15	\$2,500.00	REPAIRS-STORM SEWER
Search Name MOLITOR EXCAVATING INC				\$4,285.75	
Search Name MRZENA, KEVIN DBA					
		0715FD01	6483	\$673.00	REPAIRS-FD #24
Search Name MRZENA, KEVIN DBA				\$673.00	
Search Name MUSTANG SIGNS & GRAPHICS					
		0715PD01	16392	\$536.88	SQUAD MAINTENANCE
Search Name MUSTANG SIGNS & GRAPHICS				\$536.88	
Search Name MVTL LABORATORIES INC					
		0715PW01	761499	\$124.68	TESTING
Search Name MVTL LABORATORIES INC				\$124.68	
Search Name NAPA CENTRAL MN					
		0715PW01	002152	\$54.18	SUPPLIES-SHOP
Search Name NAPA CENTRAL MN				\$54.18	
Search Name NEMETH, DARREL INC					
		0715ADM01	06-2015	\$1,815.60	ELEC INSPECTIONS-JUNE
Search Name NEMETH, DARREL INC				\$1,815.60	
Search Name O REILLY AUTO PARTS					
		0715PW01	1572-445753	\$39.99	REPAIRS-WTR EQUIP
		0715PW01	1572-446037	\$15.99	REPAIRS-TRAILOR
		0715PW01	1572-447779	\$12.66	REPAIRS-MAINT VEHICLE
		0715PW01	1572-447781	\$64.41	REPAIRS-MAINT VEHICLE
		0715PW01	1572-447815	-\$15.00	REPAIRS-MAINT VEHICLE
		0715PW01	1572-447921	\$185.26	REPAIRS-MAINT VEHICLE
		0715PD01	1572-448090	\$89.76	REPAIRS-SQUADS
		0715PW01	1572-448631	\$461.52	REPAIRS-PARK VEHICLE
		0715PW01	1572-448646	\$117.99	EQUIP RENTAL
		0715PW01	1572-448648	\$117.99	SHOP TOOLS
		0715PW01	1572-448662	-\$117.99	EQUIP RENTAL
Search Name O REILLY AUTO PARTS				\$972.58	

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Search Name OXYGEN SERVICE COMPANY					
		0715FD01	03311698	\$53.60	CYLINDER RENTAL
		0715PD01	07891949	\$21.16	MEDICAL OXYGEN-PD
		0715PD01	07894050	\$21.16	MEDICAL OXYGEN-PD
				<u>\$95.92</u>	
Search Name OXYGEN SERVICE COMPANY					
Search Name PERFORMANCE POOL & SPA INC					
		0715PW01	212287-1	\$22.49	REPAIRS-POOL
		0715PW01	216450-1	\$1,439.93	REPAIRS-POOL
		0715PW01	216728-1	\$296.99	MOTOR-POOL
				<u>\$1,759.41</u>	
Search Name PERFORMANCE POOL & SPA INC					
Search Name PITNEY BOWES GLOBAL FIN SERV L					
		0715PD01	6263926-JN15	\$363.00	POSTAGE METER-PD
				<u>\$363.00</u>	
Search Name PITNEY BOWES GLOBAL FIN SERV L					
Search Name POWERHOUSE OUTDOOR EQUIP INC					
		0715PW01	325322	\$69.90	REPAIRS-TRIMMERS
				<u>\$69.90</u>	
Search Name POWERHOUSE OUTDOOR EQUIP INC					
Search Name PUBLIC EMPLOYEE RETIREMENT ASN					
002574E	6/22/2015	0615PPD03	06-19-2015	\$3,520.21	06/19 EMPLOYEE PERA
002574E	6/22/2015	0615PPD03	06-19-2015	\$4,366.91	06/19 EMPLOYEE PERA
002574E	6/22/2015	0615PPD03	06-19-2015	\$4,061.80	06/19 EMPLOYER PERA
002574E	6/22/2015	0615PPD03	06-19-2015	\$6,550.39	06/19 EMPLOYER PERA
002578E	6/30/2015	0615PPD03	06-30-2015	\$96.26	06/30 EMPLOYEE PERA
002578E	6/30/2015	0615PPD03	06-30-2015	\$96.26	06/30 EMPLOYER PERA
002581E	7/3/2015	0715PPD01	07-03-2015	\$4,327.17	07/03 EMPLOYEE PERA
002581E	7/3/2015	0715PPD01	07-03-2015	\$3,575.20	07/03 EMPLOYEE PERA
002581E	7/3/2015	0715PPD01	07-03-2015	\$4,125.23	07/03 EMPLOYER PERA
002581E	7/3/2015	0715PPD01	07-03-2015	\$6,490.77	07/03 EMPLOYER PERA
				<u>\$37,210.20</u>	
Search Name PUBLIC EMPLOYEE RETIREMENT ASN					
Search Name PURCHASE POWER-PITNEY BOWES					
067429	6/25/2015	0615PPD03	6512	\$500.00	POSTAGE-HALL
				<u>\$500.00</u>	
Search Name PURCHASE POWER-PITNEY BOWES					
Search Name QUAD CITY CONTRACTING LLC					
067436	6/25/2015	0615PPD03	7	\$1,500.00	VAL SMITH SHELTER
				<u>\$1,500.00</u>	
Search Name QUAD CITY CONTRACTING LLC					
Search Name QUALITY CLEANERS					
		0715FD01	122782	\$27.00	LAUNDRY-FD
				<u>\$27.00</u>	
Search Name QUALITY CLEANERS					
Search Name REDS AUTO ELECTRIC					
		0715PD01	E01783	\$81.27	REPAIRS-DARE VAN
				<u>\$81.27</u>	
Search Name REDS AUTO ELECTRIC					
Search Name REPULIC SERVICES #891					
067445	7/6/2015	0715PPD01	0891-000610625	\$33.33	REFUSE SERV-FD
067445	7/6/2015	0715PPD01	0891-000610625	\$117.21	REFUSE SERV-PLANTS
067445	7/6/2015	0715PPD01	0891-000610625	\$218.92	REFUSE SERV-PD
067445	7/6/2015	0715PPD01	0891-000610625	\$232.00	REFUSE SERV-PW
067445	7/6/2015	0715PPD01	0891-000610625	\$164.93	REFUSE SERV-HALL

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067445	7/6/2015	0715PPD01	0891-000611069	\$419.84	REFUSE SERV-COMPOST
067445	7/6/2015	0715PPD01	0891-000611069	\$1,098.38	REFUSE SERV-PARKS
Search Name REPULIC SERVICES #891				\$2,284.61	
Search Name SAM S CLUB					
067424	6/19/2015	0615PPD03	40640	\$299.98	SUPPLIES-VAL SMITH
067355	6/18/2015	0615PPD03	56916	\$63.44	SUPPLIES-HALL
067355	6/18/2015	0615PPD03	56916	\$69.32	SUPPLIES-VAL SMITH
067355	6/18/2015	0615PPD03	56916	\$32.96	SUPPLIES-MAINT
Search Name SAM S CLUB				\$465.70	
Search Name SANITATION SERVICES LLC					
		0715PW01	5815	\$45.00	PORTABLE RESTROOM-COMPOST
		0715PW01	5815	\$745.00	PORTABLE RESTROOMS-PARKS
		0715PW01	5833	\$70.00	PORTABLE RESTROOMS-PARKS
Search Name SANITATION SERVICES LLC				\$860.00	
Search Name SARTELL HARDWARE HANK					
		0715PW01	53843	\$13.80	REPAIRS-HOCKEY NETS
		0715PW01	53897	\$13.99	STREET PAINTING
		0715PW01	54521	\$1.99	SUPPLIES-POOLS
		0715PW01	6.49	\$6.49	SUPPLIES-POOLS
		0715PW01	71391	\$1.39	SUPPLIES-PARKS
		0715PW01	72658	\$9.99	TOOLS-PARKS
		0715PW01	72774	\$2.19	SUPPLIES-PARKS
		0715FD01	73171	\$6.48	SUPPLIES-FD
		0715PW01	73491	\$47.92	SUPPLIES-POOLS
		0715PW01	73499	\$0.46	POOL
		0715PW01	73618	\$3.77	SUPPLIES-SHOP
		0715PW01	73710	\$7.49	TOOLS-WATER
		0715PW01	73958	\$3.49	SUPPLIES-WATER
		0715PW01	74572	\$8.49	GARBAGE CAN
		0715PW01	74934	\$5.99	STREET SIGNS
Search Name SARTELL HARDWARE HANK				\$133.93	
Search Name SARTELL HOUSING LTD PARTNERSHI					
		0715ADM01	TIF 5-2	\$11,106.60	TIF DISTRICT 5-2
Search Name SARTELL HOUSING LTD PARTNERSHI				\$11,106.60	
Search Name SARTELL INDPENDENT POLICE ASN					
067430	6/25/2015	0615PPD03	06-2015	\$95.00	PAYROLL DEDUCTION-JUNE
Search Name SARTELL INDPENDENT POLICE ASN				\$95.00	
Search Name SARTELL NEWSLEADER					
067428	6/25/2015	0615PPD03	36680	\$184.34	FALL RESOURCE GUIDE
067428	6/25/2015	0615PPD03	36703	\$120.05	PCR ROUNDABOUTS-BID
067428	6/25/2015	0615PPD03	36743	\$248.67	PHN-LAU&REZONE,PREPLAT/REZONE
067428	6/25/2015	0615PPD03	36743	\$265.83	ORD 15-06,15-07
067441	7/2/2015	0715PPD01	36807	\$77.18	PHN-CULDESAC
067441	7/2/2015	0715PPD01	36807	\$208.25	FF WANTED AD
067428	6/25/2015	0615PPD03	56703	\$102.90	ORD 15-08
Search Name SARTELL NEWSLEADER				\$1,207.22	
Search Name SARTELL POSTMASTER					
		0715ADM01	3	\$30.00	ACCOUNT POSTAGE

Vendor Transactions-Agenda Packet

CHECK	Check Date	Batch Name	Invoice	Amount	Comments
Search Name SARTELL POSTMASTER				\$30.00	
Search Name SCHWEGEL COMMUNICATIONS INC					
		0715PD01	16694	\$85.00	REPAIRS-PD PHONE SYSTEM
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Search Name SHERWIN WILLIAMS					
		0715PW01	2293-8	\$146.20	PAINT-STREETS
		0715PW01	2511-3	\$292.40	PAINT-STREETS
		0715PW01	2611-1	\$292.40	PAINT-STREETS
		0715PW01	9578-9	\$181.29	PAINT-STREETS
		0715PW01	9590-4	-\$3.39	PAINT-STREETS
Search Name SHERWIN WILLIAMS				\$908.90	
Search Name SHIFT TECHNOLOGIES INC					
		0715FD01	48652	\$3,308.00	LAPTOPS-FD
Search Name SHIFT TECHNOLOGIES INC				\$3,308.00	
Search Name SMITH, JACOB					
067444	7/6/2015	0715PPD01	SARTELL5	\$349.64	MILL ART PROJECT
067444	7/6/2015	0715PPD01	SARTELL6	\$400.00	MILL ART PROJECT
Search Name SMITH, JACOB				\$749.64	
Search Name SPECTRUM SUPPLY CO.					
		0715PW01	253392	\$178.99	CLEANING/BLDG SUPPLIES
		0715PW01	253392	\$178.98	CLEANING/BLDG SUPPLIES
		0715PW01	253392	\$178.99	CLEANING/BLDG SUPPLIES
Search Name SPECTRUM SUPPLY CO.				\$536.96	
Search Name SPRINT					
067443	7/2/2015	0715PPD01	584068813-091	\$411.03	CONNECTION CARDS-PD
067443	7/2/2015	0715PPD01	852875115-094	\$34.99	IPAD SERV-KYLE
067443	7/2/2015	0715PPD01	852875115-094	\$34.99	IPAD SERV-JIM
067443	7/2/2015	0715PPD01	852875115-094	\$34.99	IPAD SERV-BRAD
		0715PD01	890875115-094	\$34.99	CONNECTION CARD-CSO
		0715FD01	890875115-094	\$39.99	CONNECTION CARD-FD
Search Name SPRINT				\$590.98	
Search Name ST CLOUD AREA CONVENTION/VISIT					
		0715ADM01	05-2015	\$3,141.77	LODGING TAX-MAY
Search Name ST CLOUD AREA CONVENTION/VISIT				\$3,141.77	
Search Name ST CLOUD AREA PLANNING ORGNZTN					
		0715ADM01	061815	\$2,184.21	LESAUK DR CORRIDOR STUDY
		0715ADM01	2015-2	\$7,906.50	2ND HALF ASSESSEMENT
Search Name ST CLOUD AREA PLANNING ORGNZTN				\$10,090.71	
Search Name ST CLOUD MEDICAL GROUP PA					
		0715PW01	549798	\$85.00	EMPLOYMENT PHYSICAL-ALM
Search Name ST CLOUD MEDICAL GROUP PA				\$85.00	
Search Name STANDARD INSURANCE COMPANY					
067427	6/25/2015	0615PPD03	155531-JUL	\$35.93	LIFE/LTD/DENTAL INS
067427	6/25/2015	0615PPD03	155531-JUL	\$338.35	LIFE/LTD/DENTAL INS
067427	6/25/2015	0615PPD03	155531-JUL	\$105.09	LIFE/LTD/DENTAL INS
067427	6/25/2015	0615PPD03	155531-JUL	\$28.97	LIFE/LTD/DENTAL INS

Vendor Transactions-Agenda Packet

CHECK	Check Date	Batch Name	Invoice	Amount	Comments
067427	6/25/2015	0615PPD03	155531-JUL	\$15.43	LIFE/LTD/DENTAL INS
067427	6/25/2015	0615PPD03	155531-JUL	\$59.84	LIFE/LTD/DENTAL INS
067427	6/25/2015	0615PPD03	155531-JUL	\$448.79	VOLUNTARY LIFE-PR DEDUCTION
067427	6/25/2015	0615PPD03	155531-JUL	\$53.10	LIFE/LTD/DENTAL INS
067427	6/25/2015	0615PPD03	155531-JUL	\$22.87	LIFE/LTD/DENTAL INS
067427	6/25/2015	0615PPD03	155531-JUL	\$5.75	LIFE/LTD/DENTAL INS
067427	6/25/2015	0615PPD03	155531-JUL	\$126.01	EMPLOYEE CONTR TO INS
067427	6/25/2015	0615PPD03	155531-JUL	\$54.47	LIFE/LTD/DENTAL INS
Search Name STANDARD INSURANCE COMPANY				\$1,294.60	
Search Name SUMMIT EXCAVATING INC					
067434	6/25/2015	0615PPD03	7	\$975.12	VAL SMITH SHELTER
Search Name SUMMIT EXCAVATING INC				\$975.12	
Search Name TACTICAL SOLUTIONS					
		0715PD01	5009	\$296.00	CERTIFICATION-RADAR UNITS
Search Name TACTICAL SOLUTIONS				\$296.00	
Search Name THEIS, CATHY					
		0715PD01	14-2015	\$42.50	PROF SERV-PD
Search Name THEIS, CATHY				\$42.50	
Search Name TOLMAN, KIM					
		0715PD01	275334	\$560.00	JUNE CLEANING-PD
		0715PW01	275334	\$400.00	JUNE CLEANING-MAINT
		0715FD01	275334	\$70.00	JUNE CLEANING-FD
Search Name TOLMAN, KIM				\$1,030.00	
Search Name TOTAL ADMIN SERVICES CORP					
002575E	6/23/2015	0615PPD03	06-19-2015	\$185.18	06/19 DAYCARE FLEX CONTR
002575E	6/23/2015	0615PPD03	06-19-2015	\$144.41	06/19 MED FLEX CONTR
002575E	6/23/2015	0615PPD03	06-19-2015	\$2,201.45	06/19 HSA FLEX CONTR
002582E	7/7/2015	0715PPD01	07-03-2015	\$185.18	07/03 DAYCARE FLEX CONTR
002582E	7/7/2015	0715PPD01	07-03-2015	\$144.41	07/03 MED FLEX CONTR
002582E	7/7/2015	0715PPD01	07-03-2015	\$2,201.45	07/03 HSA FLEX CONTR
Search Name TOTAL ADMIN SERVICES CORP				\$5,062.08	
Search Name TRAUT WELLS INC					
		0715PW01	278281	\$46.00	TESTING
		0715PW01	278328	\$46.00	TESTING
		0715PW01	278522	\$69.00	TESTING
Search Name TRAUT WELLS INC				\$161.00	
Search Name UNIVERSITY OF MINNESOTA					
		0715PW01	2015LPAT	\$175.00	VOGT REGIS-PESTICIDE SAFETY ETC
Search Name UNIVERSITY OF MINNESOTA				\$175.00	
Search Name US BANK CM 9690					
		0715ADM01	4013557	\$450.00	2009B IMPR BONDS-AGENT FEES
Search Name US BANK CM 9690				\$450.00	
Search Name VANDEVREDE, ADAM					
		0715PD01	063015	\$19.27	#7911 ALICE TRNG EXP
067426	6/24/2015	0615PPD03	2-2015	\$300.00	SUPPLIES-TEEN PAL
Search Name VANDEVREDE, ADAM				\$319.27	

Vendor Transactions-Agenda Packet

CHECK	Check Date	Batch Name	Invoice	Amount	Comments
Search Name VELA STRATEGY LLC					
		0715ADM01	1044	\$2,500.00	CONSULTING SERVICES-GRANTS
Search Name VELA STRATEGY LLC					
				\$2,500.00	
Search Name VERIZON WIRELESS					
067440	6/29/2015	0615PPD03	9746543455	\$47.94	PHONE SERV-POOLS
067440	6/29/2015	0615PPD03	9746543455	\$35.01	PHONE SERV-SEWER
067440	6/29/2015	0615PPD03	9746543455	\$35.01	PHONE SERV-WATER
067440	6/29/2015	0615PPD03	9746543455	\$461.45	PHONE SERV-PD
Search Name VERIZON WIRELESS					
				\$579.41	
Search Name VOLUNTEER FIREFIGHTRS BNFT ASN					
		0715FD01	JOHNSON	\$11.00	VOL FF BENEFITS-JOHNSON
Search Name VOLUNTEER FIREFIGHTRS BNFT ASN					
				\$11.00	
Search Name WINKELMAN BUILDING CORPORATION					
067433	6/25/2015	0615PPD03	7	\$1,862.90	VAL SMITH SHELTER
Search Name WINKELMAN BUILDING CORPORATION					
				\$1,862.90	
Search Name XCEL ENERGY					
		0715ADM01	460898168	\$10.40	CIVIL DEFENSE
		0715ADM01	460898168	\$176.17	TRAFFIC SIGNS/FLASH LIGHTS
		0715ADM01	460898168	\$69.34	RINKS/PARKS-ELEC
		0715ADM01	460898168	\$40.81	PARKS
		0715ADM01	460898168	\$23.14	ELEC-PD
Search Name XCEL ENERGY					
				\$319.86	
				\$385,824.58	

Voucher Payments-Fund Summary

Adopted by the Sartell City Council this _____ day of _____, 2015

Mayor _____ Attest: Administrator _____

FUND Descr	Dr/Cr Amt
GENERAL	\$273,678.63
PARK IMPROVEMENT	\$1,250.00
YOUTH PROGRAMS	\$300.00
SPECIAL INITIATIVES	\$749.64
BEAUTIFICATION	\$4,554.12
LODGING TAX	\$3,141.77
ECONOMIC DEVELOPMENT FUND	\$11,233.50
SALES TAX EXTENSION	\$6,238.02
GO CIP BONDS 2009B	\$450.00
STREET FUND	\$2,467.76
TIF DISTRICT 5-2 (PHEASANT)	\$11,106.60
TIF DISTRICT 5-5 (BURL OAKS)	\$13,292.95
WATER FUND	\$43,987.69
SEWER FUND	\$6,108.20
STORMWATER FUND	\$7,265.70
	<hr/>
	\$385,824.58

SARTELL CITY COUNCIL

AGENDA COVER SHEET

Originating Department Administration & Public Works	Meeting Date July 13, 2015	Agenda Item No. 6f
Agenda Section Consent Agenda	Item Park Commission Recommendations	

RECOMMENDATION: Staff recommends approval of the Park Commission recommendations itemized below.

BACKGROUND: May 20, 2015 was the Park Commission’s first meeting using the revised format and focus of getting resident input and making targeted recommendations to the Council on a periodic basis on every City park. The first neighborhood chosen was #7 (map attached) and complete survey results are also attached.

Recommendations of the Park Board, which will be incorporated into the City’s Financial Management Plan (or simply taken care of using existing budgeted funds as indicated) are as follows:

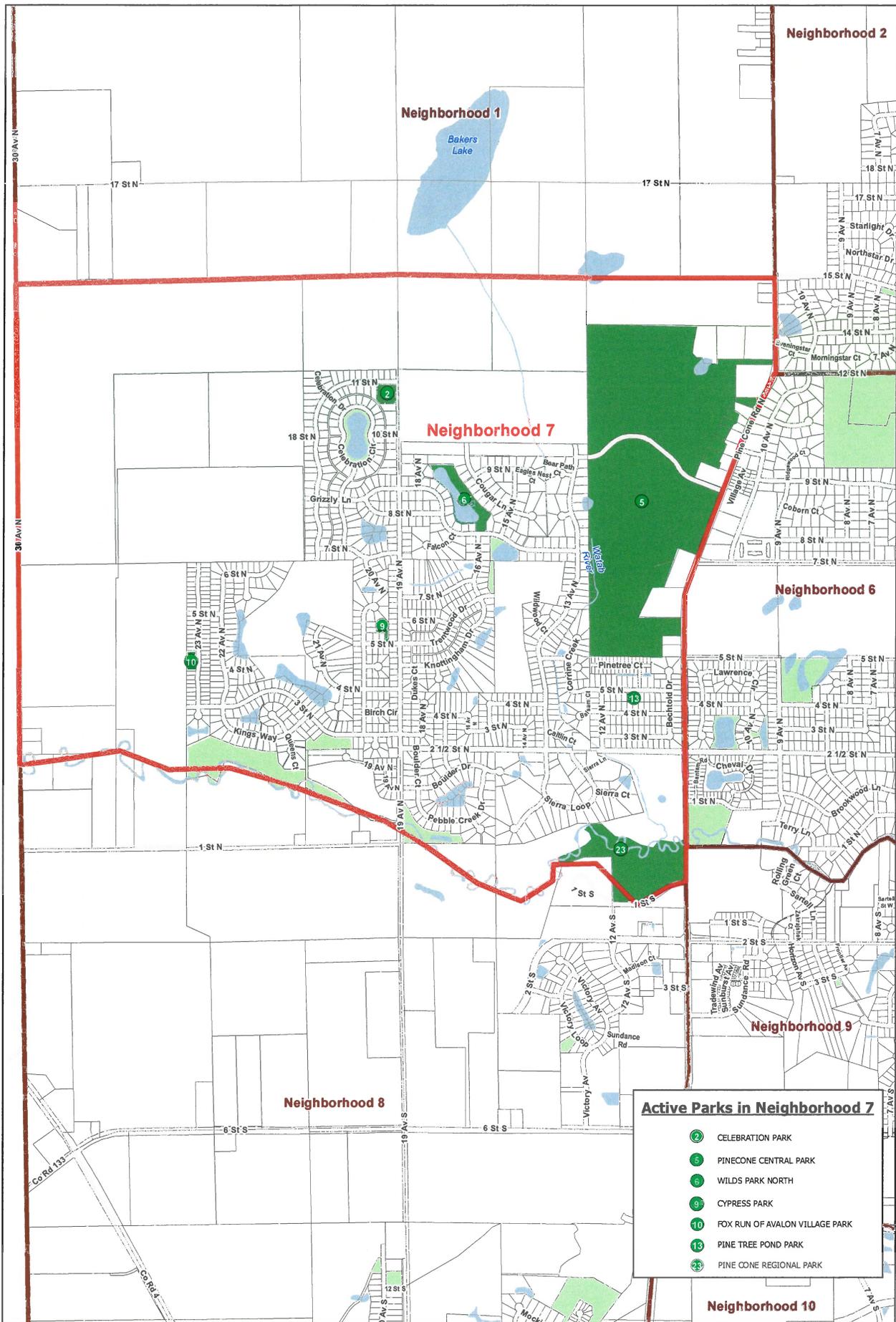
- Add more trees to Celebration Park (this is an irrigated park and they have a higher likelihood of survival) using existing annually budgeted funds.
- Cypress and Pine Tree Pond parks are both very nice with good park equipment - public works department will check on whether mulch should be added at Pine Tree Pond using existing budgeted funds.
- Fox Run of Avalon is the next identified priority in Park District 4 for additional equipment, and it is also planned to increase the size of that Park when the property to the west is platted. Public works will take care of the maintenance items mentioned in the survey comments, and the play equipment additions and overall Park expansion are already in the City’s plans and will happen as additional park land/cash in lieu dedication occurs in this Park District.
- Adding trees/shade at parks was mentioned numerous times in the survey, but getting trees to survive in non-irrigated parks is difficult. The City has started the process of irrigating one or more sites each year (Lions Park last year and Cemetery coming up for consideration in 2015) and trees can then be added using existing budgeted funds. Park shelters will be considered for other park locations where additional trees are not viable and those shelter recommendations will be added to the City’s Financial Management Plan.
- The Commission recommends replacing the Wilds tennis court with a half basketball court and pickle ball court. This will be added to the City’s Financial Management Plan.

- The Commission recommends adding playground equipment at Pinecone Central Park (consider adding at two different locations at a size/quality similar to what we have at Pine Tree Pond park rather than adding one really large playground complex). This will be added to the City's Financial Management Plan.

BUDGET IMPACT: Existing budgeted funds will be utilized or larger capital items will be programmed into Financial Management Plan for completion as funding is achieved.

ATTACHMENTS: Neighborhood 7 map and complete survey results

COUNCIL ACTION REQUESTED: Consent agenda approval serves as approval of the recommendations. If item is removed from Consent and Council is not comfortable with approval, staff would request the item be tabled to allow Park Commission reps to attend a future meeting before a final decision is made.



- Active Parks in Neighborhood 7**
- ② CELEBRATION PARK
 - ⑤ PINECONE CENTRAL PARK
 - ⑥ WILDS PARK NORTH
 - ⑨ CYPRESS PARK
 - ⑩ FOX RUN OF AVALON VILLAGE PARK
 - ⑬ PINE TREE POND PARK
 - ⑳ PINE CONE REGIONAL PARK



Neighborhood 7 Park Map
June 27, 2014 - draft

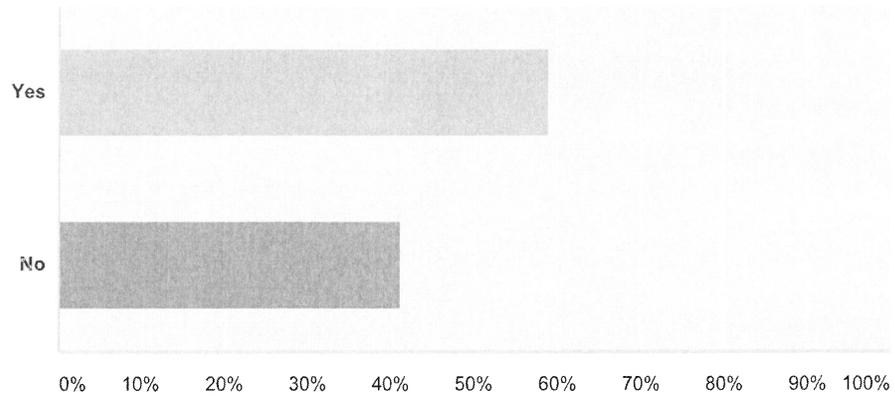


- Neighborhood Boundary
- Active Parks in Neighborhood 7
- Open Spaces



Q1 Do you live within neighborhood 7 as shown in Map A?

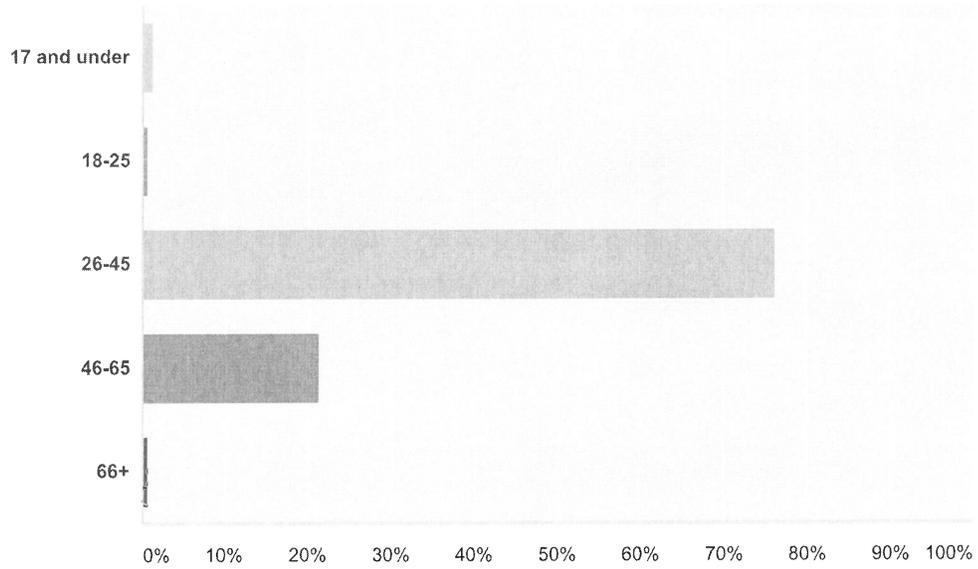
Answered: 156 Skipped: 5



Answer Choices	Responses	Count
Yes	58.97%	92
No	41.03%	64
Total		156

Q2 What age group are you in?

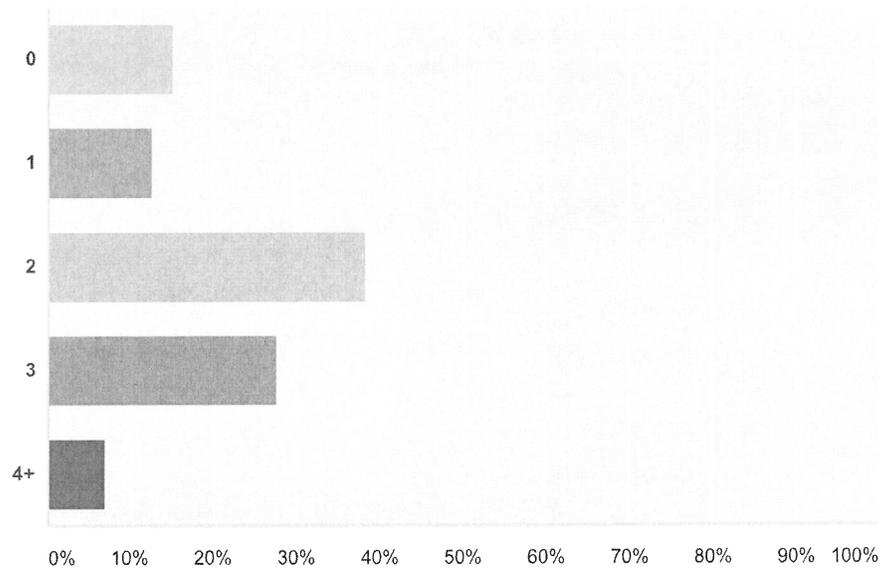
Answered: 160 Skipped: 1



Answer Choices	Responses	
17 and under	1.25%	2
18-25	0.63%	1
26-45	76.25%	122
46-65	21.25%	34
66+	0.63%	1
Total		160

Q3 How many children 17 and under are living in your household?

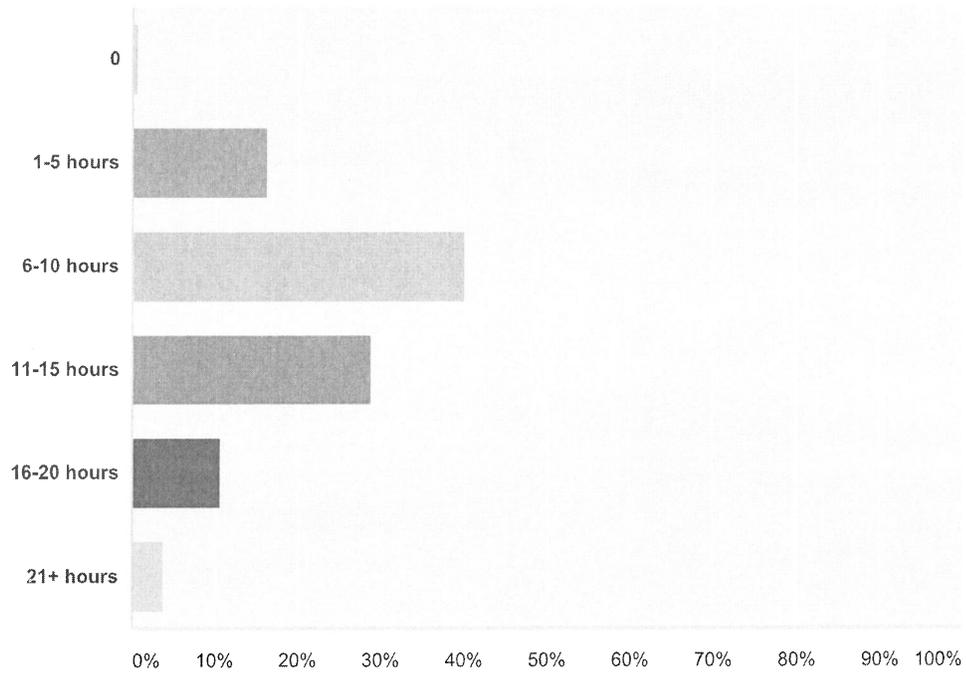
Answered: 160 Skipped: 1



Answer Choices	Responses	
0	15.00%	24
1	12.50%	20
2	38.13%	61
3	27.50%	44
4+	6.88%	11
Total		160

Q4 How many hours do you participate in leisure activities per week?

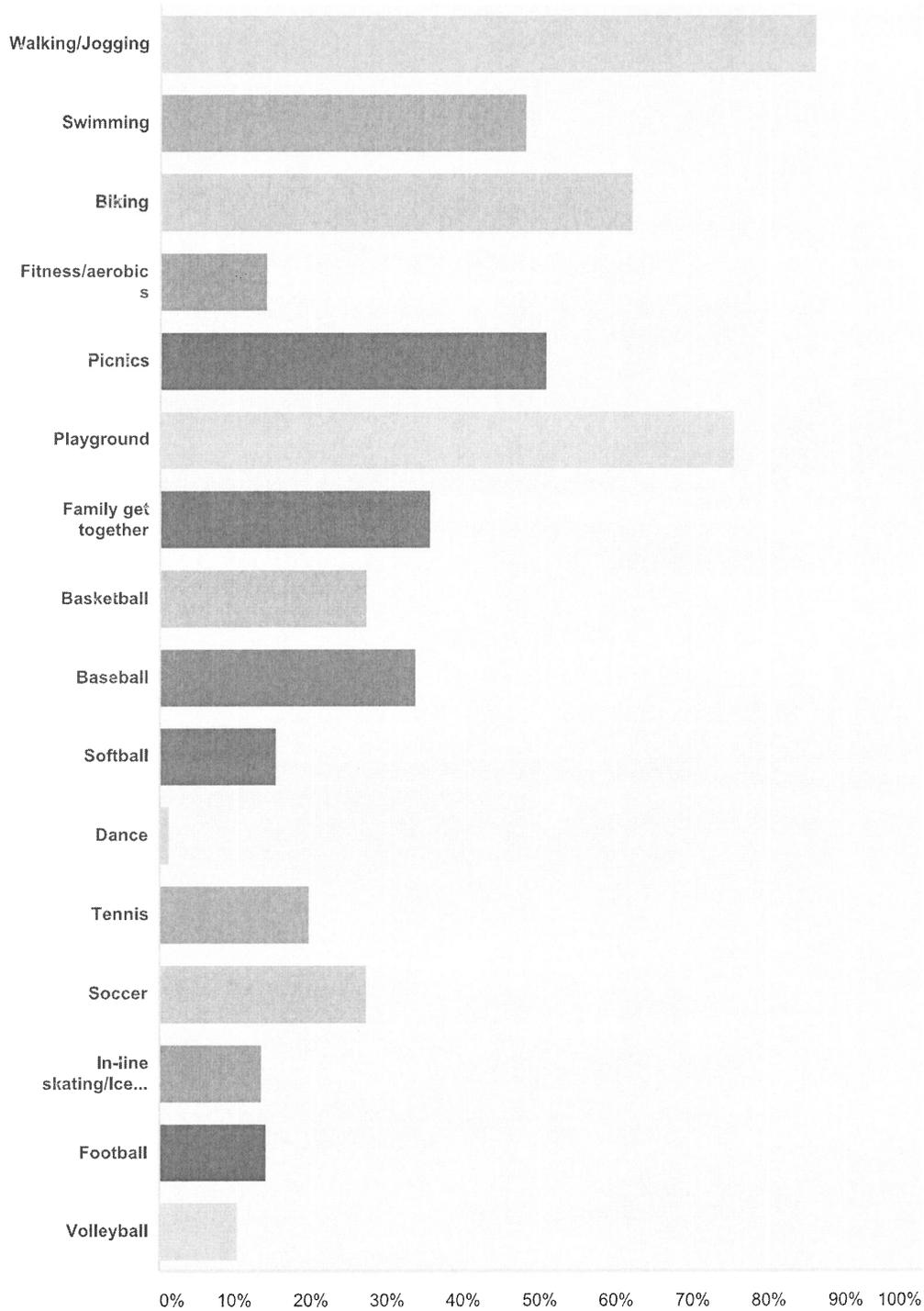
Answered: 160 Skipped: 1



Answer Choices	Responses	
0	0.63%	1
1-5 hours	16.25%	26
6-10 hours	40.00%	64
11-15 hours	28.75%	46
16-20 hours	10.63%	17
21+ hours	3.75%	6
Total		160

Q5 What are some activities or reasons that bring you to the parks? Please mark all that apply.

Answered: 158 Skipped: 3

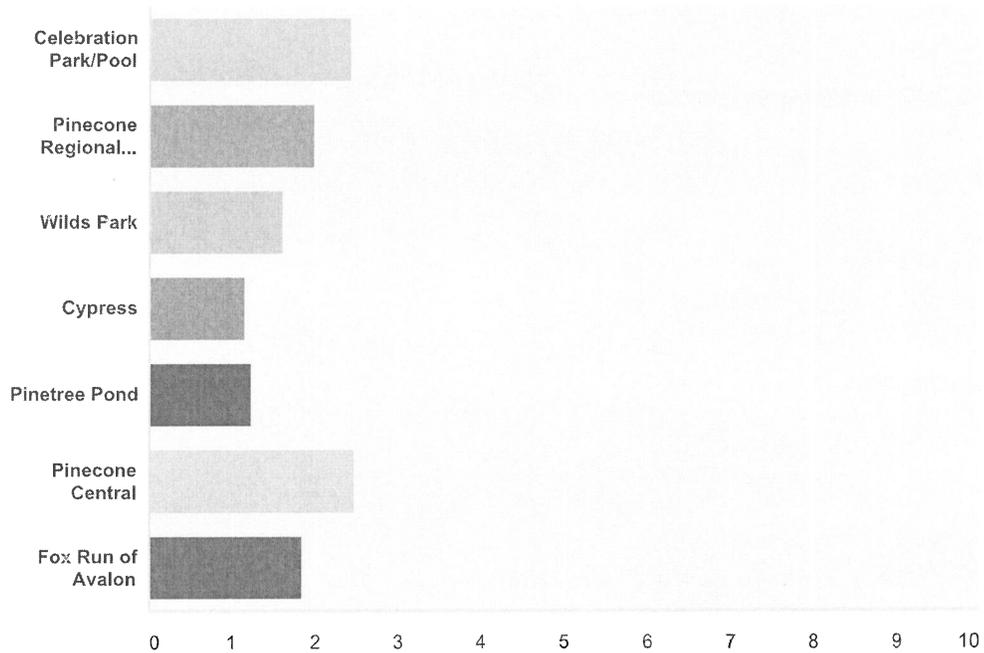


Answer Choices	Responses
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Walking/Jogging	86.08%	136
Swimming	48.10%	76
Biking	62.03%	98
Fitness/aerobics	13.92%	22
Picnics	50.63%	80
Playground	75.32%	119
Family get together	35.44%	56
Basketball	27.22%	43
Baseball	33.54%	53
Softball	15.19%	24
Dance	1.27%	2
Tennis	19.62%	31
Soccer	27.22%	43
In-line skating/Ice hockey	13.29%	21
Football	13.92%	22
Volleyball	10.13%	16
Total Respondents: 158		

Q6 How often do you visit the following parks?

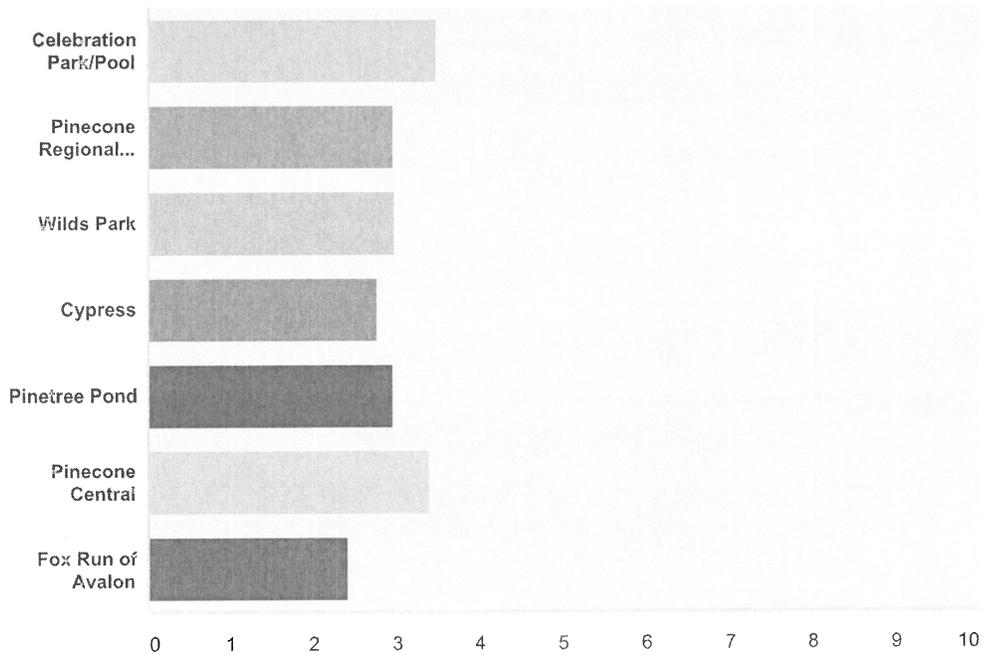
Answered: 160 Skipped: 1



	Never	Few times during the year	At least once a month	A few times per month	At least once a week	Total	Weighted Average
Celebration Park/Pool	32.48% 51	30.57% 48	11.46% 18	13.38% 21	12.10% 19	157	2.42
Pinecone Regional (Bernicks Arena)	37.18% 58	43.59% 68	7.05% 11	8.33% 13	3.85% 6	156	1.98
Wilds Park	66.89% 101	16.56% 25	7.95% 12	5.96% 9	2.65% 4	151	1.61
Cypress	89.73% 131	7.53% 11	1.37% 2	0.68% 1	0.68% 1	146	1.15
Pinetree Pond	81.69% 116	15.49% 22	2.11% 3	0.00% 0	0.70% 1	142	1.23
Pinecone Central	33.55% 51	27.63% 42	10.53% 16	15.13% 23	13.16% 20	152	2.47
Fox Run of Avalon	70.86% 107	6.62% 10	1.99% 3	9.27% 14	11.26% 17	151	1.83

Q7 Please rate your happiness with each park and the amenities/services offered (1 being very unhappy and 5 being very happy)

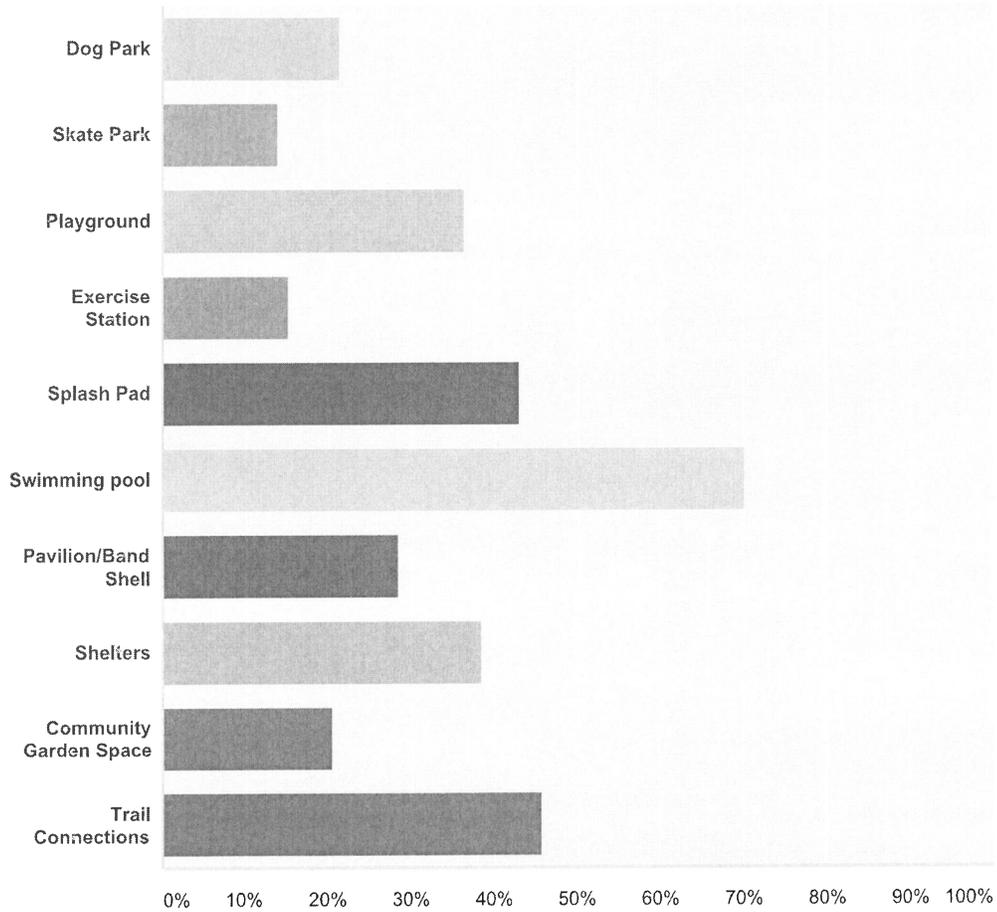
Answered: 147 Skipped: 14



	1	2	3	4	5	Total	Weighted Average
Celebration Park/Pool	7.14% 9	11.90% 15	26.98% 34	34.92% 44	19.05% 24	126	3.47
Pinecone Regional (Bernicks Arena)	11.93% 13	14.68% 16	46.79% 51	20.18% 22	6.42% 7	109	2.94
Wilds Park	10.34% 9	17.24% 15	47.13% 41	16.09% 14	9.20% 8	87	2.97
Cypress	15.38% 10	13.85% 9	55.38% 36	10.77% 7	4.62% 3	65	2.75
Pinetree Pond	11.94% 8	10.45% 7	55.22% 37	16.42% 11	5.97% 4	67	2.94
Pinecone Central	7.34% 8	11.93% 13	33.94% 37	28.44% 31	18.35% 20	109	3.39
Fox Run of Avalon	24.69% 20	23.46% 19	41.98% 34	6.17% 5	3.70% 3	81	2.41

Q8 What additional amenities would you like to see offered at any one of the parks listed above? Please mark all that apply.

Answered: 151 Skipped: 10

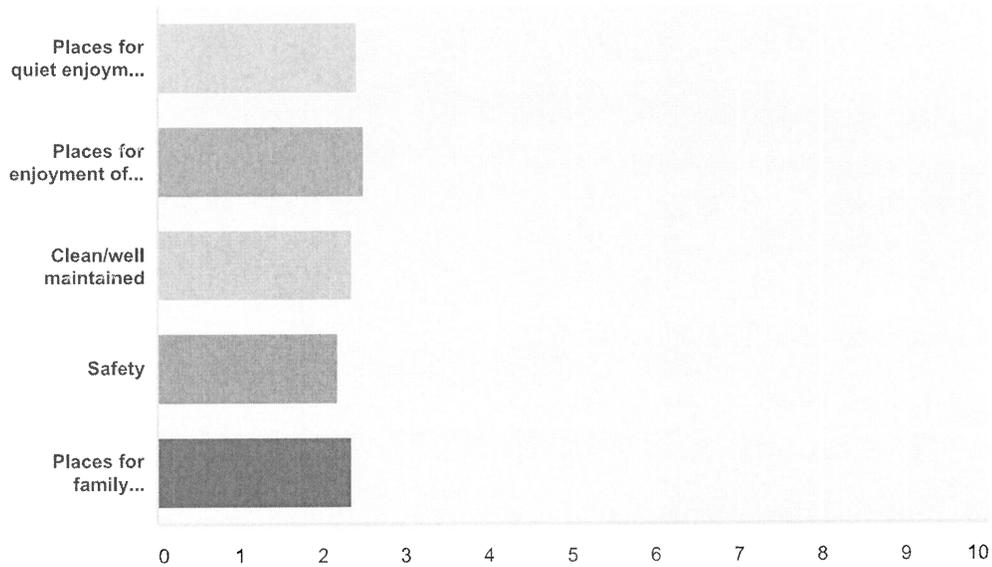


Answer Choices	Responses	Count
Dog Park	21.19%	32
Skate Park	13.91%	21
Playground	36.42%	55
Exercise Station	15.23%	23
Splash Pad	43.05%	65
Swimming pool	70.20%	106
Pavilion/Band Shell	28.48%	43
Shelters	38.41%	58
Community Garden Space	20.53%	31

Trail Connections	45.70%	69
Total Respondents: 151		

Q9 How satisfied are you with the parks in the defined area for providing the following?

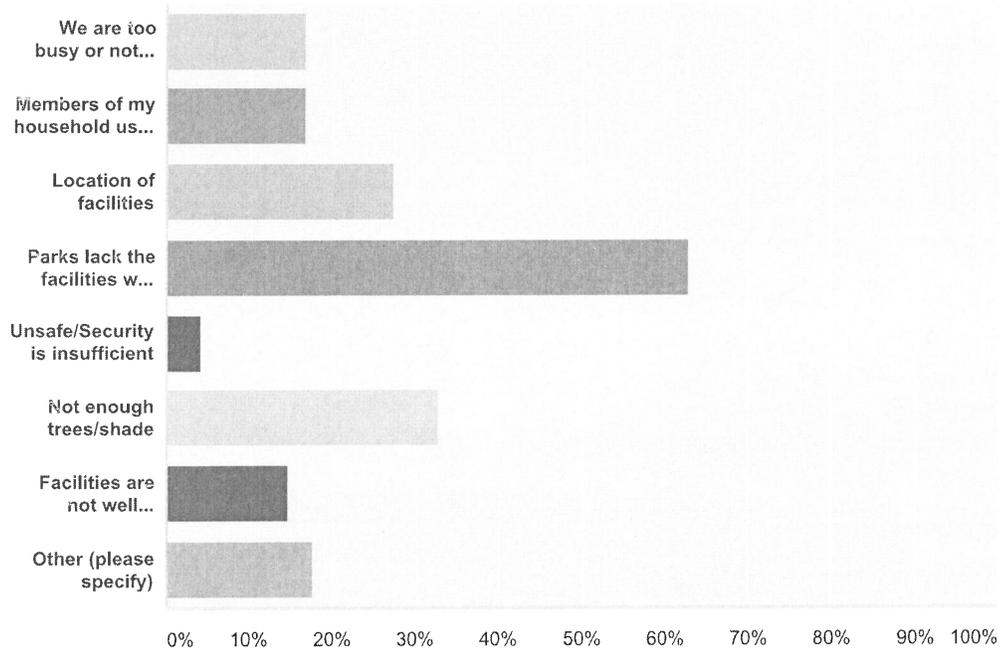
Answered: 150 Skipped: 11



	Excellent	Good	Fair	Poor	Don't know	Total	Weighted Average
Places for quiet enjoyment of outdoors	15.33% 23	40.00% 60	37.33% 56	3.33% 5	4.00% 6	150	2.41
Places for enjoyment of active sports	17.33% 26	38.67% 58	26.00% 39	14.00% 21	4.00% 6	150	2.49
Clean/well maintained	17.45% 26	47.65% 71	21.48% 32	10.74% 16	2.68% 4	149	2.34
Safety	19.46% 29	55.03% 82	18.12% 27	3.36% 5	4.03% 6	149	2.17
Places for family enjoyment	16.78% 25	46.98% 70	25.17% 39	6.04% 9	4.03% 6	149	2.34

Q10 What are some reasons that keep you from visiting Sartell's parks? Please mark all that apply.

Answered: 143 Skipped: 18



Answer Choices	Responses
We are too busy or not interested	16.78% 24
Members of my household use other facilities	16.78% 24
Location of facilities	27.27% 39
Parks lack the facilities we would want/need	62.94% 90
Unsafe/Security is insufficient	4.20% 6
Not enough trees/shade	32.87% 47
Facilities are not well maintained	14.69% 21
Other (please specify)	17.48% 25
Total Respondents: 143	

5. What are some activities or reasons that bring you to the parks?

- Nature Walks/ Hikes
- Bird Watchiung
- Nordic skiing in the winter
- fetch with dog
- none
- Neighborhood get-togethers
- Gymnastics
- Fly kites, gather with friends/ other families, kids birthday party
- Lacrosse
- A bathroom

8. What additional amenities would you like to see offered at any one of the parks listed above?

- Additional trees-shaded trails
- We need a more engaging area for children other than the cookie-cutter playgrounds. Like Orono Park in Elk River Archery Range. I have asked about this before. They have one in St. Joe, that's a long way to drive. Indoor Gym for winter open gym time.
- Pickle ball courts
- We are nearly 20k population and need an outdoor pool and a parks and rec dept.
- grass NOT weeds
- Kayak/canoe entry point to the Watab west of PineCone or 19th ave? (This would probably also require a lot of volunteer effort to remove trees that are presently blocking the river in some places).
- More basketball courts, including indoor. Our child's teams are practicing at weird hours.
- no more added things
- a playground at Pinecone Park would be very popular
- community center building :)
- I would love to see a playground at Pinecone Park for kids to use while siblings are playing on the fields. Also, I still can't believe a community our size and with a lot of kids does not have a swimming pool larger than the wading pools we have.
- A basketball facility for youth basketball, indoors, at least 6 courts.
- I was disappointed when the playground equipment was taken out at Bernicks. That is something we used while waiting for siblings to finish with their activities.
- Gym for basketball or outdoor court
This community needs additional gym space; ie for gymnastics, basketball, volleyball
- More gym space
Half court basketball in Celebration
- Trees/shade
- basketball hoops and tennis courts.
- more playground equipment for older children....school age please
- bathrooms, shaded play area (either by man-made shades or natural cover) gazebo/ 3-season pavilion; picnic areas with tables and grills
- Pool at new pine cone park. Dog park is a huge waste of money and insurance liability.
- A playground at PineCone Central PLEASE

- Older kid playgrounds, more elaborate
- Recreational fields - baseball, soccer, multipurpose
- Trees to provide shade!
- Sartell needs an area to host community events such as community fundraisers
- picnic tables
- BETTER playground! At least another swing so 2 kids can swing at the same time!
- I would love to see the trails developed that were promised for Avalon Village when we bought here in 2003.
- Barhrooms
- More swings and more playground equipment
- Some sitting area, and Fox park needs shade!

9. How satisfied are you with the parks in the defined area for providing the following?

- Every park we got to has trash in the ponds, litter stuck in the under brush, and very poorly cleared paths for walking. I want to take my kids THROUGH the woods, not around them.
- I cant really comment as i do not go to these parks.
- basketball courts in the wilds are dangerous as the pavement is cracked. We need pickle ball courts.
- Pinecone Central Park has fields for school aged kids, but it would be great to have other things for families to enjoy like a playground or walking trails around the park.
- The Northside Park in Sartell (off of 12 Street) should have a splash pad
- The celebration park is boarder line dangerous due to the lack of maintenance. The wood chips are almost completely gone with huge holes under the swings to the point of my kids coming off the swing and tripping on their faces from the holes.
- Please add mulch to the Celebration Park! For safety, cleanliness, and aesthetics.
- Too much building of houses, no privacy and we are killing off wildlife
- There is only one regular swing at Fox Run, and one digger thing. My child gets bored with it pretty quickly
- Lack of mulch on almost all playgrounds cause problems because equipment is to high out of the ground
- If there is more than 1 child of the same age and ability, there are not enough swings in Avalon Villag
- The green swing at fox run park has been broken since we moved here which was 4 1/2 years ago. Would be awesome if it was fixed or replaced:)
- Shade needed, weeds grow a lot over there.
- We live in Avalon village and our park is terrible for all the kids that live in this neighborhood. It would be wonderful if we could get a splash pad or upgrade
- The tennis courts need to be fixed in the wilds park. They are terrible and the only ones around neighborhood 7.

10. What are some reasons that keep you from visiting Sartell's parks?

- Weather. I wish there was an indoor facility my kids could use to blow off steam during the winter... like a community center.
- Need an outdoor pool

- Children are teenagers and now so busy with activities. I used to go to parks when they were little! Very clean
- We are in a gym.
- we do other things during the summer - like go to a cabin/kids are active in sports - we need a place for kids/family to go in late fall/winter/early spring
- Fox run in Avalon seems neglected. Would love to see more indoor gym space also-like a fieldhouse.
- Do not fit needs of multiple age ranges
- We go swimming in Foley, play basketball at the YMCA, and baseball at St. Francis....it would be wonderful if there was a park in Sartell that would allow us to stay here and use our communities amenities
- Would prefer something indoors, year around, for basketball.
- Sartell needs an outdoor pool that is deep enough for older children and adults. An indoor pool that serviced those age groups would also work.
- Children outgrowing some of the facilities (wading pool, not easily accessible by bike)
- Celebration Park needs more mulch and shade
- Sartell is getting overcrowded, starting to feel unsafe
- In areas like the Wilds, if you do not live in the Wilds the people who do make it clear they are not happy outsiders are there
- Overgrowth / maintenance needed in several parks
- public restroom
- Sometimes we avoid them when the lawns have been treated with chemicals.
- Lack of areas for adults to sit and relax as children play
- No place to sit down to watch your kid
- Fox Run is where we live by. It's just so boring!
- We would really like to see an actual pool. Even if it was by paid membership or pay per use I would strongly support it.
- too small and out dated. not much for kids to do. (fox run park)
- Bathoom
- More playground equipment is needed and more park area is needed

11. Any other comments you wish to share about the parks?

- Need some intermediate sized baseball softball fields for the growing population of kids in those 2 sports.
- Yes. Two parks starting with the name Pinecone is confusing. Regional park should have a more distinctive name.
- Though I have only attended two times-I love the Sartell community band that has played at Lions Park.
- As our community continues to grow and projections support even more growth we need to start planning for activity space that can be used during winter months. Communities of similar size that aren't experiencing as much growth as Sartell is have community centers with athletic complexes. The attraction to move to Sartell is because of the education system, these families want athletic amenities. It's time the City takes advantage of this opportunity to build a complex that will be used by a wide variety of residents, will keep money in Sartell rather than people going to other communities to spend their money for athletic facilities and be able to keep user fees in Sartell to offset costs.

- I am impressed that there are so many, but the quantity does not make up for the quality. We usually go to Sauk Rapids for park use because they have a few uniquely themed play areas that spark my kid's imagination.
- Would like to see Refrigerators in park shelters for family reunions
- Need a connection from Blackberry/35th St south along PineCone Rd to bike into other parks!
- Archery Range. I have asked about this before. They have one in St. Joe, that's a long way to drive. There are a lot of people in town, including younger kids that would love to be able to shoot. This just keeps getting ignored by the City Council.
- 2. Indoor Gym for winter open gym time
- The Sartell Community is in need of a larger outdoor pool, not another wading pool. Little communities in Minnesota support these types of pools and draw from other communities. They are also in need of their own library branch.
- The half cent sales tax says "community facilities" PLURAL! But the city only talks one facility - the community center. FACILITIES could easily include a skate park, a real pool, a 2nd ice rink, and improvements to the dog park.
- My biggest complaint are there are too many parks for the city to maintain. The majority of the small neighborhood parks that the city is requiring builders to have are run down and filled with weeds. Of course Celebration and the Wilds seem to be fairly well maintained but these are the more expensive developments. My current park which is not listed above has NO trees, NO benches, No picnic tables, and there is no grass, but WEEDS instead! If the city can afford to put a sprinkler system and landscaping in the middle of a roundabout (which is also not maintained) they can afford to keep grass in the parks they are so proud of and have the city staff mow it before it's knee high. The city needs to worry about maintaining the parks, adding benches/picnic tables if there are none, adding shade trees before they worry about splash pads, swimming pools, etc. I used to live by Fox Run of Avalon park and it is one of the saddest looking parks I've ever seen!
- Maintenance on East Side Park and North Park on 12th Street Need better maintenance in general to tennis court at 12th and one on East Side Park as well. Shelter improvement at East Side Park is a good thing.
- We need bigger playgrounds and more activities in the parks
- We went ice skating at Val Smith park this winter (January or February) and it really smelled BAD! When our children were younger we just loved visiting all the parks in Sartell.
- The one area that is lacking in Sartell is a community center! We are such a busy active growing community we need a center for all to use! When children were little and involved in sayba we were going to practice at 830 pm to find the space and time for practice! As an adult I would love to have an indoor walking space in the winter! A facility to hold tournaments and generate money for the community would be great! Thank you for allowing me to give input!
- We have plenty of parks and trails and athletic fields. They are well maintained and safe. Any kid with some ability could become anything he wanted to be with the facilities we have. But people need to use the facilities more than the one hour of little league or whatever sport. The parks are empty way more than they are full. Maybe stay home on a weekend instead of having to run up to the lake cabin every weekend and use that time to play informal games without adults. You don't need a stadium to play a game of softball with friends, but you do need to walk outside to do it.
- I think Sartell worries too much about parks instead of a community center that residents have wanted for years. We live in a community much larger than many other communities and here we sit without one. I know they are considering a community

center now but will take some time and will not contain many of the amenities residents want.

- We need a space for older kids to have fun, I feel that for grades 5-8 there is very little available, playgrounds are great but only up to a certain age. I would love to see a facility like the Whitney center built in Sartell, walking track, extra gym space and ball fields for community use.
- We need gym space, not more parks.
- My family thinks that we need an indoor facility that can be used by all ages - maybe similar to Whitney Center that has basketball courts/walking track etc. Other amenities would be nice - ie library attached. Their just aren't enough indoor facility access for travel sports/recreation sports in the Sartell Community. Especially when we compare to other cities our size.
- The Sartell parks are very nice and very well maintained. Just one area of concern: we would like see a higher priority given to the youth sports teams at the parks and gyms. We have 3 children actively involved in a variety of sports, and it seems like there is very limited space for SAYBA, CMBL, and the other youth teams. It seems that space priority is given to community ed where the programs are less robust. We'd like to see the focus shifted where the high quality programs and high participation programs are getting quality space. Thank you for your attention to this matter.
- More gym space would help children be done with practice earlier allowing them to get proper sleep for school, be able to hold more sports tournaments, a place to go during Christmas vacation since the schools are closed. Would love to see a fieldhouse like we have seen in Foley, Becker, etc.
- Sartell has too many parks. cost of upkeep will get to be very high
- We are in need of additional gym space for all age levels, to allow for earlier bed times during the school year while allowing our kids to remain active in activities such as basketball.
- We need a community pool. We also need shelters within our parks.
- Thank you for your great maintenance of the parks. We have been grateful for the use and availability of the parks. AND this has been an eye opener...I didn't realize that some of these parks were open to the public!! (The Wilds).
- My children are currently in elementary school and love all types of activities. I am hoping through these discussions Sartell will see what a worthwhile investment having gym spaces, a swimming pool, and a walking/running track or aerobic spaces would be. I think our community would really use and benefit.
- I have been following the community center dicussions. Parks are important but I would like to put more resources into the community center and a park facility as part of that. Love the ideas of a field house as part of the center. Hosting sporting events would be a nice income generator.
- WE NEED A COMMUNITY CENTER....not the outside areas we need...we need gym space and a public pool...
- Might be nice to have a place to access during the winter months. Some kind of recreational facility that anyone can access whether they are in school or not, a resident of Sartell or not. A place to get fit and have fun in the winter when it might be too cold to go outside.
- What we really need is more gym space for our children. This would allow them to have better hours for practice and not have to practice in the cafeterias of the schools. Open gym would also be an option for the kids as there is no place to go if kids want a pick up game or just additional practice. A running/walking track would also be a great addition to the area.

- We have great parks, however, our one "community center" is really just a hockey facility. A larger facility with basketball courts that would be open year around would be utilized by far more Sartell Citizens. It seems a bit unfair that all the community resources that went into the Bernick's Arena are really being used by only a select few in hockey other than the occasional Hair Ball party.
- 4/29/2015 8:21 AM View respondent's answers
- More trails. More trees and landscaping. More ball fields and amenities.
- We need more indoor options/spaces for all ages. Finding a place to do physical activity for kids through seniors is very difficult.
- With kids in sports I feel that there needs to be a multi-generational activities center. it would be nice for my kids to get their practices in and still get to bed on time so they are at their best for school. It would also provide s place for the kids to go during school break. A multi-generational facility would also be helpful to the city as more tournaments could take place which would create revenue for the city.
- I would love to see more gym space please. :)
- Sartell needs more gym space for additional activities and a growing number if participants.
- Gym space in this community is needed more than any other amenities. We have the fewest number of quality gyms per student in the area. The current gyms are utilized to their max capacity. We have 6th graders starting practice most nights at 7:30'or 8:00. Please consider building a field house
- We would benefit from a pool, library and additional gym space.
- Maintenance is serious issue.
- A walking/bike path from celebration to the new ball fields. Grizzly Lane is not a safe road for walking or biking
- I don't feel our family or other families utilize the parks that aren't in their specific neighborhoods. For example, the wild's park is for the residents of the wilds. Pool is theirs, so I didn't even know or don't know if the tennis courts are even an option for others to use.
- Other than the ball fields, the parks are not yearned for older kids. We need a community pool!
- Please get a pool that older children and adults might enjoy!
- We need a outdoor pool not a wading pool or splash pad.
- In particular Celebration Park, with the new addition of an adjoining neighborhood in the near future, or would be a good idea to add to the playground and add other sports options as now is just soccer. This would allow for a larger variety of activities and draw more to the park.
- It would be nice to include facilities that would appeal to tweens & teenagers such as a disk-golf course. Also consider an enclosed shelter with mosquito netting.
- Pinecone Central Park could really benefit from a playground. Would be a good place to play while siblings have baseball/soccer, etc. I would also like to see a friendly reminder to the public by the City to remind people to clean up after their dogs. I live across the street from a busy park where many children play and end up picking up lots of dog poop myself because it is gross! I don't even have a dog...
- Sartell has so many parks. The focus has been the children. What about adults? When are we getting a library? I remember voting in 1998 or 2000 and there was a ballot amendment that included % sales tax increase. Distinctly, it read that funds raised would provide a public library, parks ...ect. Anyway...15 years later we still don't have a library and Sartell as a whole has more community parks per capita than any other community in the area. Even when Bernick's Arena was build...again a promise of a library. Still no library. So go with an indoor community center that includes meeting space, library and

year round pool. Serves the needs of all residents...not just the kids. Odd that even walking paths don't connect unless staying on the main roads. Allow golf carts, bikes and connect to grocery store or drug store. Every walk through Pine Cone Pond additions. you are walking in the streets to get to a walking path or park. Dangerous. As kids we used to be able to go to parks on our own, but with no safe sidewalks or walking paths, getting to some parks is hard and kids cannot go unless a parent is with them. Doesn't make sense.

- We love our neighborhood parks and often walk or bike to them. A space to park bikes or strollers would be helpful. Also, many of the parks lack any kind of shade which makes it hard to enjoy with small children.
- No regulations for people golfing or playing baseball where they shouldn't be-- for instance there are lots of baseball diamonds but people play on celebration park and risk hurting children on the playground or damaging houses. There should be signage stating no baseball or golfing in park
- Please, please, please consider a playground at PineCone Central.
- Sartell needs to do a better job at making the parks welcoming and more aesthetic. Not just have green space and call it a park. Worse still is designating completely unusable space as park area (the "park" that is a actually marsh wetland off of 3rd St N as you enter Avalon Village)
- The playgrounds need to be more elaborate. The local parks are to simple and the children get board
- I feel it's imperative that the city look at parks to sustain families at all developmental ages. Currently, many of the parks are geared towards very young children. As the city grows and children age, facilities need to additionally address the needs of middle-school / high schoolers. We have too many kids meeting at "Holiday" or other convenience stores, rather than parks. This is especially the case in the summer. An outdoor pool would go a long way, but absent of that there may be opportunities to facilitate more of a "gathering" space for young people at PCC park if the snack bar has regular hours coupled with the dog park. Just need a place for these kids to gather, recreate, and be social, not at a gas station.
- We wish the playgrounds had bigger play structures.
- City needs to make a bigger commitment to youth activities in area. Can't rely on schools and volunteers to provide all necessary fields/courts/ameneties
- Love the parks-trail maintenance needed Prefer passive / natural area
- It would be great to have more trails. Especially ones that lead out to Oak Ridge Elementary and the neighborhoods beyond. Pine Cone Road is not safe for bikers or runners that use it. There is very little shoulder and a higher speed limit.
- The swings at the park in Fox Run cause problems because there is only one regular, one infant, and one handicap. I have two children and they often fight over who gets to go on the only swing made for them. Adding one more bar of a two regular swings would be nic
- Need a basketball hoop in fox run park
- The Avalon park feels unfinished. It desperately needs trees for shade. A shelter and picnic tables would be great additions
- Benches and more playground equipmen
- Would love to see a community center like Becker has. This community would love it and use it often.
- Please add picnic tables, more stuff for the kids to play with. PLEASE build and outdoor POOL. I would like to be able to take my kids swimming in my own city!
- Again, I would really like to see an actual pool and more bike trails connecting neighborhoods and along the creek is Avalon Village.

- Would love a full size pool in Sartell for older kids and adults.
- I would love to see fox run have a nice park!
- Splash pad would be amazing!!!
- please put in a park in the savanna oaks area
- Wish there was a park closer to Stone Brook Estates neighborhood.
- Would love to see a bathroom and other actives we could do a shelter for shade and a place for neborher could get together and kids could have fun
- More park area is needed. In the fox run area park there are so many children and very little space. There is only 1 swing which is pathetic for a neighborhood of our size.
- Fox Run should have a splash pad. Due to the amount of kids in the area, a pad would be very beneficial. The land is already available and isn't being used for anything now except dead grass
- Would love a pool area in Sartell. Also, playground at PCCP for sibling play time during soccer and baseball games
- Again it would be nice to see more parks in our area or upgrade the ones we have! We live in Avalon village and there is many children and the park rarely had children at it as it's outdated! It would be nice to add a splash pad/picnic shelter area
- Garbage cans in the parks should be available and maintained on a regular basis regardless of the season. 2.The cross country ski trails prepared this past winter at Pinecone Central park were very well done -- unfortunately, with no snow, they were not enjoyed. That needs to continue to be a priority for winter outdoor recreation, though!
- Better grounds maintenance would be appreciated. Thank you

SARTELL CITY COUNCIL

AGENDA COVER SHEET

Originating Department: Administration	Meeting Date: July 13, 2015	Agenda Item No. 6g
Agenda Section: Consent	Item: Charter Resolution	
<p>RECOMMENDATION: Approve attached Resolution per cable franchise attorney recommendation.</p> <p>BACKGROUND: St. Cloud has requested a change to the public/government access channel assignments and other area cities are consenting to the change to maintain consistency. This does not change the channel on which Council meetings are broadcast, so it should cause no confusion among Sartell government channel viewers.</p> <p>BUDGET/FISCAL IMPACT: None.</p> <p>ATTACHMENTS: Recommended Resolution</p> <p>COUNCIL ACTIONS REQUESTED: Consent agenda approval serves as approval of the Resolution as recommended by the City's cable franchise attorney. If item is removed from Consent, separate motion is requested approving Resolution.</p>		

RESOLUTION NO. _____

**A RESOLUTION ALLOWING CHARTER TO RELOCATE THE
PUBLIC, EDUCATIONAL AND GOVERNMENTAL ACCESS CHANNELS**

WHEREAS, CC VIII OPERATING, LLC, I/k/a Charter Communications (“Charter”) operates a Cable System to provide Cable Service within City of Sartell, Minnesota (“City”) pursuant to a Franchise Agreement with the City (“Franchise”);

WHEREAS, Exhibit D, paragraph 1 of the Franchise sets forth specific public, educational and governmental (“PEG”) access channel location requirements;

WHEREAS, Exhibit D, paragraph 4 of the Franchise provides that Charter shall not relocate any PEG access channel to a different channel number unless agreed to in writing by the City;

WHEREAS, in August of 2014 the City provided Charter with its consent to relocate all PEG access channels from the then current channel locations, Channels 6, 12, 19, 20 and 21, to a new channel neighborhood in the 180 series of channels together with PEG channels of other cities in the region; and

WHEREAS, Charter has requested the City’s consent for another PEG access channel relocation as outlined in Attachment A hereto (“Relocation”) due to its recent settlement agreement with the City of St. Cloud, Minnesota.

NOW, THEREFORE, City of Sartell, Minnesota resolves as follows:

1. The City consents to the Relocation.
2. The new PEG access channel locations as outlined in Attachment A hereto shall continue to be located on the basic service tier.
3. Charter will notify its subscribers of the Relocation as required by applicable law.

Approved by the City of Sartell, Minnesota this 13th day of July, 2015.

CITY OF SARTELL, MINNESOTA

By: _____
Its: Mayor

By: _____
Its: City Administrator

ATTACHMENT A

CURRENT LOCATION	PROPOSED <u>NEW</u> LOCATION	PROGRAMMING SERVICE
Channel 180	Channel 178	Public Access
Channel 187	Channel 179	Educational Access
Channel 188	Channel 180	Educational Access
Channel 181	Channel 181	Government Access

SARTELL CITY COUNCIL

AGENDA COVER SHEET

Originating Department: Administration	Meeting Date: 7/13/2015	Agenda Item No. 6H
Agenda Section: Consent	Item: Application for off sale 3.2% liquor license	
<p>STAFF RECOMMENDATION: Approval</p> <p>BOARD/COMMISSION/OTHER RECOMMENDATION: None needed</p> <p>PREVIOUS COUNCIL ACTION: None</p> <p>BACKGROUND: JM Companies, dba Super America Twin Rivers has applied for a 3.2% off sale liquor license for their location at 118 Twin Rivers Court. This license would be valid through December 31, 2015. They have submitted all required applications, proof of insurances, background check packets, and the appropriate fees. Deputy Chief Struffert found nothing in his background check that would prohibit the issuance of this license.</p> <p>BUDGET/FISCAL IMPACT: Additional \$65/year liquor license revenue.</p> <p>ATTACHMENTS: MN DPS Certification of an On Sale Liquor License, 3.2% Liquor License, or Sunday Liquor License form</p> <p>COUNCIL ACTION REQUESTED: Consent agenda approval serves as approval of the application. If item is removed from Consent, separate motion is requested approving the issuance of a 3.2% off sale liquor license for JM Companies dba Super America Twin Rivers.</p>		



Minnesota Department of Public Safety
Alcohol and Gambling Enforcement Division (AGED)
 444 Cedar Street, Suite 222, St. Paul, MN 55101-5133
 Telephone 651-201-7507 Fax 651-297-5259 TTY 651-282-6555

Certification of an On Sale Liquor License, 3.2% Liquor license, or Sunday Liquor License

Cities and Counties: You are required by law to complete and sign this form to certify the issuance of the following liquor license types:
 1) City issued on sale intoxicating and Sunday liquor licenses
 2) City and County issued 3.2% on and off sale malt liquor licenses

Name of City or County Issuing Liquor License Scotell License Period From: 7-15 To: 7-16 12/31/2015 \$

Circle One: (New License) License Transfer _____ Suspension Revocation Cancel _____
(former licensee name) (Give dates)

License type: (circle all that apply) On Sale Intoxicating Sunday Liquor 3.2% On sale 3.2% Off Sale

Fee(s): On Sale License fee: \$ _____ Sunday License fee: \$ _____ 3.2% On Sale fee: \$ _____ 3.2% Off Sale fee: \$65-

Licensee Name: JM Companies LLC DOB _____ Social Security # _____
(corporation, partnership, LLC, or Individual)

Business Trade Name: SuperAmerica ^{Twin} Rivers Business Address: 118 Twin River Court City: Scotell

Zip Code: 56377 County: Stearns Business Phone: 320-259-1143 Home Phone: _____

Home Address: _____ City: _____ Licensee's MN Tax ID # 5072707
(To Apply call 651-296-6181)

Licensee's Federal Tax ID # 41-1292576
(To apply call IRS 800-829-4933)

If above named licensee is a corporation, partnership, or LLC, complete the following for each partner/officer:

<u>Michael Moraes</u>	_____	_____	<u>1222 Kuhn Rd Scotell</u>
Partner/Officer Name (First Middle Last)	DOB	Social Security #	Home Address
_____	_____	_____	_____
(Partner/Officer Name (First Middle Last)	DOB	Social Security #	Home Address
_____	_____	_____	_____
Partner/Officer Name (First Middle Last)	DOB	Social Security #	Home Address

Intoxicating liquor licensees must attach a certificate of Liquor Liability Insurance to this form. The insurance certificate must contain all of the following:

- 1) Show the exact licensee name (corporation, partnership, LLC, etc) and business address as shown on the license.
- 2) Cover completely the license period set by the local city or county licensing authority as shown on the license.

Circle One: (Yes NO) During the past year has a summons been issued to the licensee under the Civil Liquor Liability Law?

Workers Compensation Insurance is also required by all licensees: Please complete the following:

Workers Compensation Insurance Company Name: Midwest ins Policy # 0101UP 103022100

I Certify that this license(s) has been approved in an official meeting by the governing body of the city or county.
 City Clerk or County Auditor Signature _____ Date _____
(title)

On Sale Intoxicating liquor licensees must also purchase a \$20 Retailer Buyers Card. To obtain the application for the Buyers Card, please call 651-201-7504, or visit our website at www.dps.state.mn.us.

RESOLUTION NO. _____

RESOLUTION APPOINTING FIRE CHIEF

WHEREAS, Ken Heim has announced his retirement as Sartell Fire Chief effective 12/31/15; and

WHEREAS, the City determined it was advisable and in the City's best interests to select a replacement Chief to allow time for the current Chief and new appointee to transition before the new appointee's term as Chief officially begins on 1/1/16; and

WHEREAS, the City interview committee has interviewed the applicants and recommends the appointment of Jim Sattler to the position of Sartell Fire Chief effective 1/1/16;

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF SARTELL that the following appointment is hereby made to the Sartell Fire Department:

Fire Chief	Jim Sattler	1-1-16 to 12-31-18
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ADOPTED BY THE SARTELL CITY COUNCIL THIS 13th DAY OF JULY, 2015.

MAYOR

ATTEST:

CITY ADMINISTRATOR

SARTELL CITY COUNCIL

AGENDA COVER SHEET

Originating Department: Administration	Meeting Date: July 13, 2015	Agenda Item No. 6j
Agenda Section: Consent	Item: Mill Art Project Cement Contract	
<p>RECOMMENDATION: Staff recommends approval of cement contract for the Mill Art Project.</p> <p>PREVIOUS COUNCIL ACTION: Prior Council action approved use of budgeted City park funds (regularly budgeted for park benches, etc.) and Central MN Arts Board grant funding toward the Mill Art project. The project uses former mill materials toward public art pieces.</p> <p>BACKGROUND: The public art project work continues and they have just embarked on a crowdfunding campaign to achieve the final fundraising levels needed to complete the project. Installation is tentatively scheduled in early August, and the cement contract (for footings/foundations for the art pieces) is the result of bids obtained for this work. Upon Council approval, the contract will be signed by the City only after receipt of full funding.</p> <p>BUDGET/FISCAL IMPACT: None- project is grant/donation funded with only City funding approved and provided for last year.</p> <p>ATTACHMENTS: Not available yet -contract recommended for approval will be provided separately.</p> <p>COUNCIL ACTION REQUESTED: Consent agenda approval serves as approval of the Contract, subject to final fundraising. If item is removed from Consent, separate motion is requested approving Contract.</p>		

SARTELL CITY COUNCIL

AGENDA COVER SHEET

Originating Department: Administration, Engineering	Meeting Date: July 13, 2015	Agenda Item No. 6k
Agenda Section: Consent	Item: Pinecone Road Improvements 2015	
<p>RECOMMENDATION: Approval of Resolution No. 56-15 Awarding the Pinecone Road Phase 1B project to J.R. Ferche, Inc. in the amount of \$1,874,815.00</p> <p>BOARDS/COMMISSION/COMMITTEE RECOMMENDATION:</p> <p>PREVIOUS COUNCIL ACTION: Council passed resolution No. 46-15 on June 8, 2015 approving the plans and specifications and authorized placing the ad for bid.</p> <p>BACKGROUND: The bids for this project included the construction of a roundabout at Heritage Drive and Scout Drive. In addition the project includes a 10' bituminous trail on 6th Street S from Heritage Drive to Victory Avenue and a right turn lane on 6th Street S at Victory Avenue.</p> <p>Three bids were received and opened on July 7th, 2015. JR Ferche Inc. of Rice, MN was the low bidder in the amount of \$1,874,815. The Engineers Opinion of Probable cost for this project was \$1,864,181.80. The low bid was 0.57% above the engineer's opinion of probable cost.</p> <p>We are therefore recommending the contract be awarded to JR Ferche, Inc. in the amount of \$1,874,815.00.</p> <p>BUDGET/FISCAL IMPACT: \$1,874,815.00</p> <p>ATTACHMENTS: Resolution No. 56-15, Bid Tabulation.</p>		

Council member _____ introduced the following resolution and moved its adoption:

RESOLUTION No: 56-15

A RESOLUTION TO ENTER INTO A CONTRACT FOR THE 2015 PINECONE ROAD PHASE 1B IMPROVEMENTS

WHEREAS, the city council on June 8, 2015 passed Resolution No. 46-15, approving the plans and specifications for Pinecone Road Phase 1B Improvements and authorizing WSB & Associates, Inc. to place the ad for bid for the 2015 Pinecone Road Phase 2 Improvements; and

WHEREAS, an ad for bid was published in the Finance and Commerce and Sartell Newsleader; and

WHEREAS, bids were received on July 7, 2015 from three (3) contractors including, J.R. Ferche, Inc., R.L. Larson Excavating, Inc., Tri-City Paving, Inc.,

WHEREAS, the bids were tabulated and checked for accuracy and J.R. Ferche, Inc. of Rice, MN provided the low bid in the amount of \$1,874,815.00

NOW THEREFORE IT BE RESOLVED, The Mayor and City Administrator are authorized to enter into a contract with J.R. Ferche, Inc, of Rice, MN in accordance with the plans and specifications for the 2015 Pinecone Road Phase 2 Improvements.

The motion for the adoption of the forgoing resolution was duly seconded by member _____ and upon a vote being taken thereon, the following voted in favor thereof:

And the following voted against the same:

Whereupon said resolution was declared duly passed and adopted this 13th day of July, 2015.

Mayor

ATTEST:

Administrator

SEAL

BID TABULATION SUMMARY

PROJECT:

Pinecone Road Roundabouts (Scout Drive and Heritage Drive)

LOCATION:

City of Sartell, MN

WSB PROJECT NO.: 2174-57

Bids Opened: Tuesday, July 7, 2015 at 11:00 a.m.

Contractor	Bid Security (5%)	Addendum No. 1	Addendum No. 2	Addendum No. 3	Base Bid
1 J.R. Ferche, Inc.	X	X	X	X	\$1,874,815.00
2 R.L. Excavating, Inc.	X	X	X	X	\$1,948,364.55
3 Tri-City Paving, Inc.	X	X	X	X	\$2,019,016.39

Engineer's Opinion of Cost: \$1,864,181.80

I hereby certify that this is a true and correct tabulation of the bids as received on July 7, 2015.



Andrew Plowman, PE

 Denotes corrected figure



7/7/2015

WSB
Project Bid Abstract

Project Name: SART - Pinecone Road Roundabouts
(Scout Drive and Heritage Drive)

Client: City of Sartell **Project No.:** 02174-57
Bid Opening: July 7, 2015 at 11:00 AM

■ Denotes Corrected Figure

Project: 02174-33 - SART - Pinecone Road from 2nd Street S to 15th Street N				Engineers Estimate		J.R. Ferche, Inc.		R. L. Larson Excavating, Inc.		Tri-City Paving, Inc.		
Line No.	Item	Units	Quantity	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	
Base Bid												
1	2021.501	MOBILIZATION	LS	1	\$90,000.00	\$90,000.00	\$23,000.00	\$23,000.00	\$50,000.00	\$50,000.00	\$85,000.00	\$85,000.00
2	2101.502	CLEARING	TREE	7	\$200.00	\$1,400.00	\$50.00	\$350.00	\$400.00	\$2,800.00	\$200.00	\$1,400.00
3	2101.507	GRUBBING	TREE	7	\$200.00	\$1,400.00	\$50.00	\$350.00	\$200.00	\$1,400.00	\$200.00	\$1,400.00
4	2104.501	REMOVE SEWER PIPE (STORM)	LF	951	\$10.00	\$9,510.00	\$14.00	\$13,314.00	\$8.00	\$7,608.00	\$14.00	\$13,314.00
5	2104.501	REMOVE CONCRETE CURB AND GUTTER	LF	11593	\$3.50	\$40,575.50	\$1.80	\$20,867.40	\$3.00	\$34,779.00	\$2.00	\$23,186.00
6	2104.503	REMOVE BITUMINOUS WALK	S F	5360	\$0.50	\$2,680.00	\$0.50	\$2,680.00	\$1.50	\$8,040.00	\$1.00	\$5,360.00
7	2104.503	REMOVE CONCRETE WALK	S F	31122	\$2.00	\$62,244.00	\$0.50	\$15,561.00	\$1.00	\$31,122.00	\$0.60	\$18,673.20
8	2104.505	REMOVE BITUMINOUS PAVEMENT	S Y	25521	\$2.75	\$70,182.75	\$2.65	\$67,630.65	\$4.00	\$102,084.00	\$1.00	\$25,521.00
9	2104.509	REMOVE DRAINAGE STRUCTURE	EACH	25	\$500.00	\$12,500.00	\$300.00	\$7,500.00	\$300.00	\$7,500.00	\$400.00	\$10,000.00
10	2104.509	REMOVE MARKER	EACH	5	\$100.00	\$500.00	\$30.00	\$150.00	\$30.00	\$150.00	\$25.00	\$125.00
11	2104.509	REMOVE SIGN TYPE C	EACH	35	\$65.00	\$2,275.00	\$30.00	\$1,050.00	\$30.00	\$1,050.00	\$25.00	\$875.00
12	2104.509	REMOVE SIGN TYPE SPECIAL	EACH	2	\$50.00	\$100.00	\$75.00	\$150.00	\$100.00	\$200.00	\$50.00	\$100.00
13	2104.513	SAWING BIT PAVEMENT (FULL DEPTH)	LF	2687	\$4.00	\$10,748.00	\$3.50	\$9,404.50	\$3.00	\$8,061.00	\$1.00	\$2,687.00
14	2104.523	SALVAGE LIGHTING UNIT	EACH	2	\$300.00	\$600.00	\$550.00	\$1,100.00	\$500.00	\$1,000.00	\$500.00	\$1,000.00
15	2104.523	SALVAGE SIGN TYPE C	EACH	1	\$90.00	\$90.00	\$40.00	\$40.00	\$30.00	\$30.00	\$25.00	\$25.00
16	2104.523	SALVAGE SIGN TYPE SPECIAL	EACH	3	\$50.00	\$150.00	\$60.00	\$180.00	\$100.00	\$300.00	\$50.00	\$150.00
17	2105.501	COMMON EXCAVATION	C Y	3128	\$10.00	\$31,280.00	\$14.00	\$43,792.00	\$30.00	\$93,840.00	\$7.00	\$21,896.00
18	2112.604	SUBGRADE PREPARATION	S Y	14376	\$1.00	\$14,376.00	\$6.10	\$87,693.60	\$2.00	\$28,752.00	\$1.00	\$14,376.00
19	2123.501	COMMON LABORERS	HOUR	40	\$60.00	\$2,400.00	\$50.00	\$2,000.00	\$60.00	\$2,400.00	\$80.00	\$3,200.00
20	2123.509	DOZER	HOUR	40	\$150.00	\$6,000.00	\$100.00	\$4,000.00	\$125.00	\$5,000.00	\$125.00	\$5,000.00
21	2123.510	10 CU YD TRUCK	HOUR	40	\$100.00	\$4,000.00	\$100.00	\$4,000.00	\$80.00	\$3,200.00	\$100.00	\$4,000.00
22	2123.514	3.0 CU YD FRONT END LOADER	HOUR	40	\$140.00	\$5,600.00	\$100.00	\$4,000.00	\$125.00	\$5,000.00	\$125.00	\$5,000.00
23	2123.610	STREET SWEEPER (WITH PICKUP BROOM)	HOUR	80	\$130.00	\$10,400.00	\$140.00	\$11,200.00	\$110.00	\$8,800.00	\$110.00	\$8,800.00
24	2130.501	WATER	MGAL	50	\$20.00	\$1,000.00	\$35.00	\$1,750.00	\$40.00	\$2,000.00	\$30.00	\$1,500.00

Project: 02174-33 - SART - Pinecone Road from 2nd Street S to 15th Street N		Engineers Estimate				J.R. Ferche, Inc.		R. L. Larson Excavating, Inc.		Tri-City Paving, Inc.		
Line No.	Item	Units	Quantity	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	
25	2211.503	AGGREGATE BASE (CV) CLASS 5	C Y	3772	\$20.00	\$75,440.00	\$22.00	\$82,984.00	\$24.00	\$90,528.00	\$24.00	\$90,528.00
26	2301.504	CONCRETE PAVEMENT 7.0"	S Y	810	\$60.00	\$48,600.00	\$58.00	\$46,980.00	\$56.50	\$45,765.00	\$75.90	\$61,479.00
27	2360.501	TYPE SP 12.5 WEARING COURSE MIX (3,C)	TON	3249	\$68.00	\$220,932.00	\$65.00	\$211,185.00	\$63.00	\$204,687.00	\$62.00	\$201,438.00
28	2360.502	TYPE SP 12.5 NON WEAR COURSE MIX (3,B)	TON	2618	\$62.00	\$162,316.00	\$57.00	\$149,226.00	\$55.00	\$143,990.00	\$56.00	\$146,608.00
29	2502.521	4" PE PIPE DRAIN	L F	3400	\$5.00	\$17,000.00	\$8.00	\$27,200.00	\$10.00	\$34,000.00	\$10.00	\$34,000.00
30	2503.541	12" RC PIPE SEWER DES 3006 CL V	L F	25	\$28.00	\$700.00	\$40.00	\$1,000.00	\$35.00	\$875.00	\$40.00	\$1,000.00
31	2503.541	15" RC PIPE SEWER DES 3006 CL V	L F	940	\$36.00	\$33,840.00	\$40.00	\$37,600.00	\$44.00	\$41,360.00	\$44.00	\$41,360.00
32	2503.541	18" RC PIPE SEWER DES 3006 CL III	L F	268	\$42.00	\$11,256.00	\$50.00	\$13,400.00	\$48.00	\$12,864.00	\$50.00	\$13,400.00
33	2503.541	24" RC PIPE SEWER DES 3006 CL III	L F	99	\$50.00	\$4,950.00	\$55.00	\$5,445.00	\$52.00	\$5,148.00	\$50.00	\$4,950.00
34	2503.602	CONNECT TO EXISTING STORM SEWER	EACH	9	\$600.00	\$5,400.00	\$1,200.00	\$10,800.00	\$1,200.00	\$10,800.00	\$1,500.00	\$13,500.00
35	2503.602	CONNECT INTO EXISTING DRAINAGE STRUCTURE	EACH	6	\$600.00	\$3,600.00	\$1,500.00	\$9,000.00	\$1,200.00	\$7,200.00	\$1,500.00	\$9,000.00
36	2504.601	IRRIGATION SERVICE	LS	2	\$5,000.00	\$10,000.00	\$3,000.00	\$6,000.00	\$6,000.00	\$12,000.00	\$4,000.00	\$8,000.00
37	2504.602	CONNECT TO EXISTING WATER MAIN	EACH	2	\$1,000.00	\$2,000.00	\$1,500.00	\$3,000.00	\$2,000.00	\$4,000.00	\$2,000.00	\$4,000.00
38	2504.602	ADJUST GATE VALVE & BOX	EACH	6	\$400.00	\$2,400.00	\$300.00	\$1,800.00	\$250.00	\$1,500.00	\$400.00	\$2,400.00
39	2504.603	4" PVC SCH. 40	LF	2600	\$8.00	\$20,800.00	\$10.00	\$26,000.00	\$10.00	\$26,000.00	\$15.00	\$39,000.00
40	2504.608	DUCTILE IRON FITTINGS	LB	100	\$6.00	\$600.00	\$0.01	\$1.00	\$10.00	\$1,000.00	\$20.00	\$2,000.00
41	2506.501	CONST DRAINAGE STRUCTURE DES 48-4020	L F	172.81	\$300.00	\$51,843.00	\$350.00	\$60,483.50	\$350.00	\$60,483.50	\$350.00	\$60,483.50
42	2506.501	CONST DRAINAGE STRUCTURE DES 60-4020	L F	5.98	\$400.00	\$2,392.00	\$600.00	\$3,588.00	\$360.00	\$2,152.80	\$550.00	\$3,289.00
43	2506.501	CONST DRAINAGE STRUCTURE DES 72-4020	L F	8.34	\$600.00	\$5,004.00	\$700.00	\$5,838.00	\$360.00	\$3,002.40	\$600.00	\$5,004.00
44	2506.501	CONST DRAINAGE STRUCTURE DES 84-4020	L F	9.12	\$650.00	\$5,928.00	\$800.00	\$7,296.00	\$575.00	\$5,244.00	\$700.00	\$6,384.00
45	2506.516	CASTING ASSEMBLY	EACH	50	\$600.00	\$30,000.00	\$800.00	\$40,000.00	\$530.00	\$26,500.00	\$750.00	\$37,500.00
46	2506.522	ADJUST FRAME & RING CASTING (STORM)	EACH	12	\$400.00	\$4,800.00	\$350.00	\$4,200.00	\$200.00	\$2,400.00	\$300.00	\$3,600.00
47	2506.522	ADJUST FRAME & RING CASTING (SANITARY)	EACH	4	\$900.00	\$3,600.00	\$350.00	\$1,400.00	\$300.00	\$1,200.00	\$500.00	\$2,000.00
48	2521.501	4" CONCRETE WALK	S F	52225	\$3.50	\$182,787.50	\$3.50	\$182,787.50	\$4.00	\$208,900.00	\$5.50	\$287,237.50
49	2521.501	6" CONCRETE WALK	S F	3980	\$6.00	\$23,880.00	\$6.75	\$26,865.00	\$7.00	\$27,860.00	\$12.00	\$47,760.00
50	2521.511	3" BITUMINOUS WALK	S F	19210	\$3.50	\$67,235.00	\$2.75	\$52,827.50	\$2.50	\$48,025.00	\$3.50	\$67,235.00
51	2531.501	CONCRETE CURB & GUTTER DESIGN B612	L F	555	\$12.00	\$6,660.00	\$16.50	\$9,157.50	\$16.00	\$8,880.00	\$35.00	\$19,425.00
52	2531.501	CONCRETE CURB & GUTTER DESIGN B618	L F	13392	\$15.00	\$200,880.00	\$12.00	\$160,704.00	\$11.50	\$154,008.00	\$13.08	\$175,167.36
53	2531.501	CONCRETE CURB & GUTTER DESIGN S524	L F	710	\$12.00	\$8,520.00	\$19.00	\$13,490.00	\$18.00	\$12,780.00	\$33.10	\$23,501.00
54	2531.618	TRUNCATED DOMES	S F	576	\$40.00	\$23,040.00	\$45.00	\$25,920.00	\$42.00	\$24,192.00	\$40.00	\$23,040.00
55	2545.511	LIGHTING UNIT TYPE A	EACH	8	\$6,500.00	\$52,000.00	\$11,000.00	\$88,000.00	\$10,600.00	\$84,800.00	\$11,000.00	\$88,000.00
56	2545.515	LIGHT FOUNDATION DESIGN E MODIFIED	EACH	8	\$1,000.00	\$8,000.00	\$725.00	\$5,800.00	\$680.00	\$5,440.00	\$1,000.00	\$8,000.00
57	2545.523	3" NON-METALLIC CONDUIT	L F	1730	\$7.00	\$12,110.00	\$7.00	\$12,110.00	\$6.25	\$10,812.50	\$6.50	\$11,245.00
58	2545.531	UNDERGROUND WIRE 1 COND NO 4	L F	4400	\$1.00	\$4,400.00	\$1.00	\$4,400.00	\$0.90	\$3,960.00	\$1.00	\$4,400.00
59	2545.531	UNDERGROUND WIRE 1 COND NO 8	L F	6500	\$0.75	\$4,875.00	\$1.00	\$6,500.00	\$0.85	\$5,525.00	\$1.00	\$6,500.00

Project: 02174-33 - SART - Pinecone Road from 2nd Street S to 15th Street N				Engineers Estimate		J.R. Ferche, Inc.		R. L. Larson Excavating, Inc.		Tri-City Paving, Inc.		
Line No.	Item	Units	Quantity	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	
60	2545.541	SERVICE CABINET -TYPE L1	EACH	2	\$3,000.00	\$6,000.00	\$4,800.00	\$9,600.00	\$4,600.00	\$9,200.00	\$5,000.00	\$10,000.00
61	2545.545	EQUIPMENT PAD B	EACH	2	\$1,000.00	\$2,000.00	\$1,500.00	\$3,000.00	\$1,450.00	\$2,900.00	\$1,500.00	\$3,000.00
62	2545.553	HANDHOLE	EACH	5	\$500.00	\$2,500.00	\$1,000.00	\$5,000.00	\$1,000.00	\$5,000.00	\$1,000.00	\$5,000.00
63	2545.544	SERVICE EQUIPMENT	EACH	2	\$1,000.00	\$2,000.00	\$4,000.00	\$8,000.00	\$3,550.00	\$7,100.00	\$3,500.00	\$7,000.00
64	2563.601	TRAFFIC CONTROL	LS	1	\$35,000.00	\$35,000.00	\$26,000.00	\$26,000.00	\$25,000.00	\$25,000.00	\$30,000.00	\$30,000.00
65	2564.531	SIGN PANELS TYPE C	S F	388	\$30.00	\$11,640.00	\$50.00	\$19,400.00	\$45.00	\$17,460.00	\$44.00	\$17,072.00
66	2564.531	SIGN PANELS TYPE D	S F	21.76	\$40.00	\$870.40	\$60.00	\$1,305.60	\$60.00	\$1,305.60	\$55.00	\$1,196.80
67	2564.537	INSTALL SIGN TYPE C	EACH	1	\$100.00	\$100.00	\$175.00	\$175.00	\$200.00	\$200.00	\$150.00	\$150.00
68	2564.537	INSTALL SIGN TYPE SPECIAL	EACH	3	\$50.00	\$150.00	\$200.00	\$600.00	\$200.00	\$600.00	\$175.00	\$525.00
69	2573.502	SILT FENCE, TYPE MS	L F	5774	\$2.00	\$11,548.00	\$2.00	\$11,548.00	\$2.50	\$14,435.00	\$2.15	\$12,414.10
70	2573.530	STORM DRAIN INLET PROTECTION	EACH	69	\$250.00	\$17,250.00	\$200.00	\$13,800.00	\$150.00	\$10,350.00	\$125.00	\$8,625.00
71	2573.560	CULVERT END CONTROLS	EACH	3	\$300.00	\$900.00	\$150.00	\$450.00	\$200.00	\$600.00	\$500.00	\$1,500.00
72	2573.602	STABILIZED CONSTRUCTION EXIT	EACH	8	\$1,000.00	\$8,000.00	\$750.00	\$6,000.00	\$500.00	\$4,000.00	\$1,000.00	\$8,000.00
73	2574.525	BOULEVARD TOPSOIL BORROW	C Y	768	\$20.00	\$15,360.00	\$20.00	\$15,360.00	\$30.00	\$23,040.00	\$20.00	\$15,360.00
74	2575.505	SODDING TYPE SALT TOLERANT	S Y	6908	\$3.00	\$20,724.00	\$6.50	\$44,902.00	\$6.00	\$41,448.00	\$5.60	\$38,684.80
75	2575.501	SEEDING	ACRE	0.37	\$200.00	\$74.00	\$12,000.00	\$4,440.00	\$10,500.00	\$3,885.00	\$10,000.00	\$3,700.00
76	2575.502	SEED MIXTURE 25-151	LB	111	\$20.00	\$2,220.00	\$7.00	\$777.00	\$6.00	\$666.00	\$5.90	\$654.90
77	2574.508	FERTILIZER TYPE 3	LB	167	\$2.00	\$334.00	\$5.00	\$835.00	\$4.00	\$668.00	\$3.75	\$626.25
78	2575.571	RAPID STABILIZATION METHOD 3	MGAL	8.52	\$250.00	\$2,130.00	\$750.00	\$6,390.00	\$650.00	\$5,538.00	\$625.00	\$5,325.00
79	2582.501	PAVT MSSG (RT ARROW) POLY PREF-GR IN	EACH	2	\$550.00	\$1,100.00	\$500.00	\$1,000.00	\$500.00	\$1,000.00	\$455.00	\$910.00
80	2582.501	PAVT MSSG (THRU ARROW)POLY PREF-GR IN	EACH	4	\$550.00	\$2,200.00	\$500.00	\$2,000.00	\$500.00	\$2,000.00	\$375.00	\$1,500.00
81	2582.501	PAVT MSSG (LT-THRU ARROW)POLY PREF-GR IN	EACH	8	\$900.00	\$7,200.00	\$800.00	\$6,400.00	\$750.00	\$6,000.00	\$730.00	\$5,840.00
82	2582.501	PAVT MSSG (RT-THRU ARROW)POLY PREF-GR IN	EACH	4	\$900.00	\$3,600.00	\$800.00	\$3,200.00	\$750.00	\$3,000.00	\$730.00	\$2,920.00
83	2582.502	4" SOLID LINE WHITE-PAINT	L F	5283	\$0.25	\$1,320.75	\$0.25	\$1,320.75	\$0.25	\$1,320.75	\$0.50	\$2,641.50
84	2582.502	4" SOLID LINE YELLOW-PAINT	L F	3622	\$0.25	\$905.50	\$0.25	\$905.50	\$0.25	\$905.50	\$1.00	\$3,622.00
85	2582.502	4" DOUBLE SOLID LINE YELLOW-PAINT	L F	3681	\$0.50	\$1,840.50	\$0.50	\$1,840.50	\$0.50	\$1,840.50	\$1.00	\$3,681.00
86	2582.502	4" SOLID LINE WHITE-EPOXY-GR IN	L F	8017	\$0.40	\$3,206.80	\$1.00	\$8,017.00	\$1.00	\$8,017.00	\$1.71	\$13,709.07
87	2582.502	4" DOTTED LINE WHITE-EPOXY (GROUND IN)	L F	358	\$3.00	\$1,074.00	\$3.75	\$1,342.50	\$4.00	\$1,432.00	\$1.71	\$612.18
88	2582.502	8" DOTTED LINE WHITE-EPOXY-GR IN	L F	162	\$8.00	\$1,296.00	\$6.00	\$972.00	\$6.00	\$972.00	\$2.15	\$348.30
89	2582.502	4" SOLID LINE YELLOW-EPOXY-GR IN	L F	5483	\$0.70	\$3,838.10	\$1.00	\$5,483.00	\$1.00	\$5,483.00	\$1.71	\$9,375.93
Total Base Bid:						\$1,864,181.80		\$1,874,815.00		\$1,948,364.55		\$2,019,016.39
Total Base Bid:						\$1,864,181.80		\$1,874,815.00		\$1,948,364.55		\$2,019,016.39
Totals for Project 02174-33						\$1,864,181.80		\$1,874,815.00		\$1,948,364.55		\$2,019,016.39
% of Estimate for Project 02174-33								0.57%		4.52%		8.31%

I hereby certify that this is an exact reproduction of bids received.

Certified By:  License No. 44200

Date: July 7, 2015

SARTELL CITY COUNCIL

AGENDA COVER SHEET

Originating Department: Administration, Engineering	Meeting Date: July 13, 2015	Agenda Item No. 61
Agenda Section: Consent	Item: 4th/50th Avenue ROW Acquisition MnDOT Agreement	
<p>RECOMMENDATION: Approval of Resolution No. 57-15 entering into MnDOT Agreement No. 1000732</p> <p>BOARDS/COMMISSION/COMMITTEE RECOMMENDATION:</p> <p>PREVIOUS COUNCIL ACTION: Council previously approved the application for Federal Funds to acquire ROW for the extension of 4th/50th Avenue.</p> <p>BACKGROUND: Federal Funds have been obtained to purchase necessary right-of-way for the 4th Ave/50th Avenue project from 23rd Street S to 4th Street S. The ROW acquisition project is identified as Project No. 220-117-003. The estimate ROW acquisition cost is \$553,955.51 with up to \$443,164.61 to be paid from Federal Funds.</p> <p>The MnDOT agreement authorizes the City to expend and be reimbursed for the proposed ROW acquisitions.</p> <p>BUDGET/FISCAL IMPACT: Based on the estimated acquisition cost the city's 20% match is \$110,791.10. These funds would come from Street Funds.</p> <p>ATTACHMENTS: MnDOT Agreement No. 1000732</p>		

STATE OF MINNESOTA AGENCY AGREEMENT
BETWEEN
DEPARTMENT OF TRANSPORTATION
AND
CITY OF SARTELL

FOR FEDERAL PARTICIPATION IN RIGHT OF WAY
FOR
S.P. 220-117-003; M.P. HPPH H162(009)

This agreement is entered into by and between City of Sartell ("City") and the State of Minnesota acting through its Commissioner of Transportation ("MnDOT"),

Pursuant to Minnesota Statutes Section 161.36, the City desires MnDOT to act as the City's agent to accept and disburse federal funds for the construction, improvement, or enhancement of transportation financed in whole or in part by federal funds, hereinafter referred to as the "Project"; and

The City is proposing a federal aid project to purchase right of way needed for future improvements to 50th Avenue/ 4th Avenue South between 23rd Street South and 4th Street South, hereinafter referred to as the "Right of way Acquisition"; and

The Right of way Acquisition is eligible for the expenditure of federal aid funds, and is identified in MnDOT records as State Project 220-117-003, and in Federal Highway Administration ("FHWA") records as Minnesota Project HPPH H162(009); and

The CFDA number for this project is 20.205; and

MnDOT requires that the terms and conditions of this agency be set forth in an agreement.

THE PARTIES AGREE AS FOLLOWS:

I. DUTIES OF THE CITY.

A. DESIGNATION. The City designates MnDOT to act as its agent to accept and disburse federal funds made available for the Project.

B. ELIGIBILITY / COSTS. The estimated cost of the Right of way Acquisition is \$553,955.51.

1. It is anticipated that 80% (up to \$443,164.41 capped) of the cost of the Right of way Acquisition is to be paid from federal funds made available by the FHWA, and that the remaining 20% will be paid by the City. The City will pay any part of the cost or expense of the work that the FHWA does not pay.
2. Any costs incurred by the City prior to authorization of the Federal Funds, will not be eligible for federal participation.

3. Eligible cost and expense, if approved, may consist of the following:
 - a) The cost of purchasing right of way for the proposed project.
 - b) The direct labor charges for City employees for the time that said employees are performing work pursuant to this agreement. Said labor charges may include the prorata share of "labor additives" applicable to said labor charges. Costs to the City of "labor additives" consisting of holiday pay, vacation, sick leave, retirement, pension, unemployment taxes, compensation and liability insurance, lost time charges and similar costs incidental to labor employment will be reimbursed only when supported by adequate records.
 - c) The applicable equipment rental charges for City owned equipment used by the City and mileage charges for employee owned vehicles used by the City on work performed pursuant to this agreement, at rates reflective of the City actual cost.
 - d) Expenditures for materials, supplies, mechanical data processing and equipment rental, limited to the actual expenditures for the purposes of this agreement.
 - e) The cost incurred by the City to employ outside forces to perform any or all of the work pursuant to this agreement is subject to the provisions of section I.D. SUBLETTING.
 - f) Purchase price, appraisal fees incurred by the City, appraisal fees incurred by the property owner (up to a maximum of \$1,500 for single family and two-family residential property and minimum damages acquisitions and \$5,000 for other types of property), condemnation costs, title work, title insurance, recording fees, and closing costs.
 - g) A credit will be required for any building sales or rental income.
4. Expenditures for general administration, supervision, maintenance and other overhead or incidental expenses of the City are not eligible for federal participation.
5. Acceptability of costs under this agreement will be determined in accordance with the cost principles and procedures set forth in the applicable Federal Acquisition Regulations, Contract Cost Principles and Procedures, 48 Code of Federal Regulations (CFR) 31 which is hereby incorporated by reference and made a part of this agreement.
6. For costs expected to exceed \$ 553,955.51, the City must request the preparation and execution of a supplement to this agreement, prior to incurring such costs.

C. STAFFING.

1. The City will designate a publicly employed registered engineer or land surveyor, ("Project Engineer"), to be in responsible charge of the Project and to supervise and direct the work performed under any contract let for the Project. If City elects to use a private consultant for engineering services, the City will provide a qualified, full-time public employee of the City, to be in responsible charge of the Project. The

services of the City to be performed pursuant to this agreement may not be assigned, sublet, or transferred unless the City is notified in writing by MnDOT that such action is permitted under 23 CFR 1.33 and 23 CFR 635.105 and state law. This written consent will in no way relieve the City from its primary responsibility for performance of the work.

2. During the progress of the work on the Project, the County authorizes its Project Engineer to request in writing specific engineering and/or technical services from MnDOT, pursuant to Minnesota Statutes Section 161.39. Such services may be covered by other technical service agreements. If MnDOT furnishes the services requested, and if MnDOT requests reimbursement, then the City will promptly pay MnDOT to reimburse the state trunk highway fund for the full cost and expense of furnishing such services. The costs and expenses will include the current MnDOT labor additives and overhead rates, subject to adjustment based on actual direct costs that have been verified by audit. Provision of such services will not be deemed to make MnDOT a principal or co-principal with respect to the Project.
 3. The City will furnish the personnel, services, supplies, and equipment necessary to properly supervise, inspect, and document the work for the Project.
- D. SUBLETTING. The City will prepare request for proposals in accordance with Minnesota law and applicable Federal laws and regulations.
1. The City will solicit proposals after obtaining written notification from MnDOT that the FHWA has authorized the Project. Any Project advertised prior to authorization will not be eligible for federal reimbursement.
 2. The City will prepare the request for proposal, which will include all of the federal-aid provisions supplied by MnDOT.
 3. The City will prepare and publish the proposal solicitation for the Project as required by state and federal laws. The City will include in the solicitation the required language for federal-aid contracts as supplied by MnDOT. The solicitation will state where the City will receive the sealed proposals.
 4. The City may not include other work in the contract for the authorized Project without obtaining prior notification from MnDOT that such work is allowed by FHWA. Failure to obtain such notification may result in the loss of some or all of the federal funds for the Project.
 5. The City will prepare and distribute any addendums, if needed.
 6. The City will receive open, and evaluate proposals.
 7. After the proposals are opened, the City governing body will consider the proposals and will award the contract as required by state and federal laws, or reject all proposals. If the proposal contains a goal for Disadvantaged Business Enterprises, the City will not award the contract until it has received certification of the Disadvantaged Business Enterprise participation from the MnDOT Equal Employment Opportunity Office.

8. This written consent will in no way relieve the City from its primary responsibility for performance of the work. Subcontractor agreements must contain all appropriate terms and conditions of this agreement.

E. CONTRACT ADMINISTRATION.

1. The City will request approval from MnDOT for all costs in excess of the amount of federal funds previously approved for the Project prior to incurring such costs. Failure to obtain such approval may result in such costs being disallowed for reimbursement.
2. The City will prepare reports, keep records, and perform work so as to enable MnDOT to collect the federal aid sought by the City. The City will retain all records and reports in accordance with MnDOT's record retention schedule for federal aid projects.
3. Upon completion of the Project, the Project Engineer will determine whether the work will be accepted.

F. PAYMENTS.

1. The entire cost of the Project is to be paid from federal funds made available by the FHWA and by other funds provided by the City. The City will pay any part of the cost or expense of the Project that is not paid by federal funds.
2. The City may request partial payments not more than once each thirty (30) days. The Project Engineer will certify the amount of each partial estimate.
3. The invoice and supplements thereto, will contain all details that may be necessary for a proper audit. Such details will consist of at least the following:
 - (a) A breakdown of labor by individual, classification, dates and hours worked times the applicable rate to arrive at a total dollar amount for each individual.
 - (b) The labor additive may be applied to total labor dollars, not including overtime labor dollars.
 - (c) The equipment charges shall be broken down by type of equipment times the applicable rate and dates used to arrive at total equipment charges.
 - (d) A detailed breakdown of outside services used and supporting invoices and documentation that costs of outside services have been paid.
 - (e) Detail for materials, supplies, and other items with the description, units, and unit prices included in the invoice. If materials or supplies are purchased from an outside source, a copy of that invoice should be included.
 - (f) The invoices will include 100% of eligible charges applicable to the Right of way Acquisition so that the prorata share of federal and City participation

can be applied to the total costs.

4. Following certification, by the Project Engineer, of the final estimate, the City may request reimbursement for costs eligible for federal funds. The City's request will be made to MnDOT and will include a copy of the certified final estimate along with the required records.
5. Reimbursement of costs under this agreement will be based on actual costs, but limited to eligible items.

G. LIMITATIONS.

1. The City will comply with all applicable Federal, State, and local laws, ordinances, and regulations.
2. Nondiscrimination. It is the policy of the FHWA and the State of Minnesota that no person in the United States will, on the grounds of race, color, or national origin, be excluded from participation in, be denied the benefits of, or be subjected to discrimination under any program or activity receiving Federal financial assistance (42 U.S.C. 2000d). Through expansion of the mandate for nondiscrimination in Title VI and through parallel legislation, the proscribed bases of discrimination include race, color, sex, national origin, age, and disability. In addition, the Title VI program has been extended to cover all programs, activities and services of an entity receiving Federal financial assistance, whether such programs and activities are Federally assisted or not. Even in the absence of prior discriminatory practice or usage, a recipient in administering a program or activity to which this part applies, is expected to take affirmative action to assure that no person is excluded from participation in, or is denied the benefits of, the program or activity on the grounds of race, color, national origin, sex, age, or disability. It is the responsibility of the City to carry out the above requirements.
3. Workers' Compensation. Any and all employees of the City or other persons while engaged in the performance of any work or services required or permitted by the City under this agreement will not be considered employees of MnDOT, and any and all claims that may arise under the Workers' Compensation Act of Minnesota on behalf of said employees, or other persons while so engaged, will in no way be the obligation or responsibility of MnDOT. The City will require proof of Workers' Compensation Insurance from any contractor and sub-contractor.

H. AUDIT.

1. The City will comply with the Single Audit Act of 1984 and Office of Management and Budget (OMB) circular A-133 including amendments and successors thereto, which are incorporated herein by reference.
2. As provided under Minnesota Statutes Section 16C.05, subdivision 5, all books, records, documents, and accounting procedures and practices of the City are subject to examination by the United States Government, MnDOT, and either the Legislative Auditor or the State Auditor as appropriate, for a minimum of six years. The City will be responsible for any costs associated with the performance of the audit.

- I. MAINTENANCE. The City assumes full responsibility for the operation and maintenance of any facility constructed or improved under this Agreement.
- J. CLAIMS. The City acknowledges that MnDOT is acting only as the City's agent for acceptance and disbursement of federal funds, and not as a principal or co-principal with respect to the Project. The City will pay any and all lawful claims arising out of or incidental to the Project including, without limitation, claims related to contractor selection (including the solicitation, evaluation, and acceptance or rejection of bids or proposals), acts or omissions in performing the Project work, and any *ultra vires* acts. The City will indemnify, defend (to the extent permitted by the Minnesota Attorney General), and hold MnDOT harmless from any claims or costs arising out of or incidental to the Project, including reasonable attorney fees incurred by MnDOT. The City indemnification obligation extends to any actions related to the certification of DBE participation, even if such actions are recommended by MnDOT.
- K. FEDERAL FUNDING ACCOUNTABILITY AND TRANSPARENCY ACT (FFATA). This Agreement requires the City to provide supplies and/or services that are funded in whole or in part by federal funds that are subject to FFATA. The City is responsible for ensuring that all applicable requirements, including but not limited to those set forth herein, of FFATA are met and that the City provides information to the MnDOT as required.

The City shall comply with the following:

- 1. Reporting of Total Compensation of the City's Executives.
 - (a) The City shall report the names and total compensation of each of its five most highly compensated executives for the City's preceding completed fiscal year, if in the City's preceding fiscal year it received:
 - i. 80 percent or more of the City's annual gross revenues from Federal procurement contracts and Federal financial assistance subject to the Transparency Act, as defined at 2 CFR 170.320 (and subawards); and
 - ii. \$25,000,000 or more in annual gross revenues from Federal procurement contracts (and subcontracts), and Federal financial assistance subject to the Transparency Act (and subawards); and
 - iii. The public does not have access to information about the compensation of the executives through periodic reports filed under section 13(a) or 15(d) of the Securities Exchange Act of 1934 (15 U.S.C. 78m(a), 78o(d)) or section 6104 of the Internal Revenue Code of 1986. (To determine if the public has access to the compensation information, see the U.S. Security and Exchange Commission total compensation filings at <http://www.sec.gov/answers/execomp.htm>.)

Executive means officers, managing partners, or any other employees in management positions.

(b) Total compensation means the cash and noncash dollar value earned by the executive during the City's preceding fiscal year and includes the following (for more information see 17 CFR 229.402(c)(2)):

- i. Salary and bonus.
- ii. Awards of stock, stock options, and stock appreciation rights. Use the dollar amount recognized for financial statement reporting purposes with respect to the fiscal year in accordance with the Statement of Financial Accounting Standards No. 123 (Revised 2004) (FAS 123R), Shared Based Payments.
- iii. Earnings for services under non-equity incentive plans. This does not include group life, health, hospitalization or medical reimbursement plans that do not discriminate in favor of executives, and are available generally to all salaried employees.
- iv. Change in pension value. This is the change in present value of defined benefit and actuarial pension plans.
- v. Above-market earnings on deferred compensation which is not tax qualified.
- vi. Other compensation, if the aggregate value of all such other compensation (e.g. severance, termination payments, value of life insurance paid on behalf of the employee, perquisites or property) for the executive exceeds \$10,000.

2. The City must report executive total compensation described above to the MnDOT by the end of the month during which this agreement is awarded.
3. The City will obtain a Data Universal Numbering System (DUNS) number and maintain its DUNS number for the term of this agreement. This number shall be provided to MnDOT on the plan review checklist submitted with the plans for each project. More information about obtaining a DUNS Number can be found at: <http://fedgov.dnb.com/webform/>.
4. The City's failure to comply with the above requirements is a material breach of this agreement for which the MnDOT may terminate this agreement for cause. The MnDOT will not be obligated to pay any outstanding invoice received from the City unless and until the City is in full compliance with the above requirements.

II. DUTIES OF MnDOT.

- A. ACCEPTANCE. MnDOT accepts designation as Agent of the City for the receipt and disbursement of federal funds and will act in accordance herewith.
- B. PROJECT ACTIVITIES.
 1. MnDOT will make the necessary requests to the FHWA for authorization to use federal funds for the Project, and for reimbursement of eligible costs pursuant to the terms of this agreement.
 2. MnDOT will provide to the City copies of the required Federal-aid clauses to be

Agreement no. 1000732

included in the proposal solicitation and will provide the required Federal-aid provisions to be included in the Proposal.

3. MnDOT will review and certify the DBE participation and notify the City when certification is complete. If certification of DBE participation (or good faith efforts to achieve such participation) cannot be obtained, then the City must decide whether to proceed with awarding the contract. Failure to obtain such certification will result in the project becoming ineligible for federal assistance, and the City must make up any shortfall.

C. PAYMENTS.

1. MnDOT will receive the federal funds paid by the FHWA for the Project, pursuant to Minnesota Statutes § 161.36, Subdivision 2.
2. MnDOT will review and sign each partial pay request. Following certification of the partial estimate, MnDOT will reimburse the City, from said federal funds made available to the Project, for each partial payment request, subject to the availability and limits of those funds.
3. Upon completion of the Project, the City will prepare a final payment request in accordance with the terms of this agreement. MnDOT will review and certify the final payment request with a final audit.
4. No more than 90% of the reimbursement due under this agreement will be paid until completion of the final audit and approval by MnDOT's authorized representative.
5. In the event MnDOT does not obtain funding from the FHWA or other funding source, or funding cannot be continued at a sufficient level to allow for the processing of the federal aid reimbursement requests, the City may continue the work with local funds only, until such time as MnDOT is able to process the federal aid reimbursement requests.

D. AUTHORITY. MnDOT may withhold federal funds, if MnDOT or the FHWA determines that the Project was not completed in compliance with federal requirements.

E. INSPECTION. MnDOT, the FHWA, or duly authorized representatives of the state and federal government will have the right to audit, evaluate and monitor the work performed under this agreement. The City will make available all books, records, and documents pertaining to the work hereunder, for a minimum of seven years following the closing of the construction contract.

III. AUTHORIZED REPRESENTATIVES. Each authorized representative will have responsibility to insure that all payments due to the other party are paid pursuant to the terms of this agreement.

A. The City authorized representative for the purposes of administration of this agreement is Mike Nielson, City of Sartell, 125 Pinecone Road North, Sartell, MN 56377, phone 320.293.2989, or his successor.

- B. MnDOT's authorized representative is Lynnette Roshell, Minnesota Department of Transportation, State Aid for Local Transportation, Mail Stop 500, St Paul, MN 55155, phone 651-366-3822, or her successor.
- IV. TORT LIABILITY. Each party is responsible for its own acts and omissions and the results thereof to the extent authorized by law and will not be responsible for the acts and omissions of any others and the results thereof. The Minnesota Tort Claims Act, Minnesota Statutes Section 3.736, governs MnDOT liability.
- V. ASSIGNMENT. Neither party will assign or transfer any rights or obligations under this agreement without prior written approval of the other party.
- VI. AMENDMENTS. Any amendments/supplements to this Agreement will be in writing and executed by the same parties who executed the original agreement, or their successors in office.
- VII. TERM OF AGREEMENT. This agreement will be effective upon execution by appropriate State officials, pursuant to Minnesota Statutes Section 16C.05, and will remain in effect for five (5) years from the effective date or until all obligations set forth in this agreement have been satisfactorily fulfilled, whichever occurs first.
- VIII. TERMINATION. This agreement may be terminated by the City or MnDOT at any time, with or without cause, upon ninety (90) days written notice to the other party. Such termination will not remove any unfulfilled financial obligations of the City as set forth in this Agreement. In the event of such a termination the City will be entitled to reimbursement for MnDOT-approved federally eligible expenses incurred for work satisfactorily performed on the Project to the date of termination subject to the terms of this agreement.

IN WITNESS WHEREOF, the parties have caused this Agreement to be duly executed intending to be bound thereby.

CITY

City certifies that the appropriate person(s) have executed the contract on its behalf as required by applicable resolutions, ordinances, or charter provisions

By: _____

Date: _____

Title: _____

By: _____

Date: _____

Title: _____

DEPARTMENT OF TRANSPORTATION

By: _____

Title: Director,
State Aid for Local Transportation

Date: _____

COMMISSIONER OF ADMINISTRATION

By: _____

Date: _____

SARTELL CITY COUNCIL

AGENDA COVER SHEET

Originating Department: Administration, Engineering	Meeting Date: July 13, 2015	Agenda Item No. 6m
Agenda Section: Consent	Item: Pinecone Road Roundabout Landscape Design Services	
<p>RECOMMENDATION: Approval of WSB proposal to provide Landscape Design Services for the Roundabouts at 2nd Street S., Heritage Drive and Scout Drive</p> <p>BOARDS/COMMISSION/COMMITTEE RECOMMENDATION:</p> <p>PREVIOUS COUNCIL ACTION: Council previously decided to investigate alternatives for the roundabout landscaping that is aesthetically pleasing yet low maintenance.</p> <p>BACKGROUND: Several of the roundabouts in the city were previously planted with decorative landscaping and have since been turned to mowable grass. The property owners at the intersection of 2nd Street S. have requested to be involved with the design and selection of the center island improvements to insure they will be an asset to the community.</p> <p>BUDGET/FISCAL IMPACT: Street Funds - \$18,500</p> <p>ATTACHMENTS: Letter Proposal</p>		



May 27, 2015

Mike Neilson

RE: Professional Services Proposal – Pinecone Road Roundabout Landscape Design

I am pleased to submit this letter proposal on behalf of WSB & Associates, Inc. (WSB) to the City of Sartell (City) to complete professional landscape design services for three roundabouts located on Pinecone Road.

PROJECT UNDERSTANDING

It is the understanding of WSB that this project is to include professional landscape design services for three roundabouts along Pinecone Road. The following is the scope of services for the landscape design process.

SCOPE OF SERVICES

A. Task “A” – Preliminary Landscape Design Services

1. **Focus / Project Start-Up & Programming Meeting:** WSB shall attend a Focus / Project Start-Up & Programming Meeting with the City to include city staff. The general purpose of the focus meeting is to:
 - a. Allow WSB the opportunity to develop a clear understanding of the scope of the project, intended outcome, and City’s expectations of the consultant’s services;
 - b. Confirm key individuals who will be involved in the project or have information that will affect the project;
 - c. General review and discussion about the issues and concerns related to this project.

2. **Schematic Design:** WSB shall develop up to two design alternatives for the roundabouts to include illustrative graphics showing general design characteristics and design themes, but will not get into detailed design. Specific criteria affecting the schematic designs include taking advantage of site opportunities, appropriate design themes, sightline safety, and maintenance needs. Meetings during this phase include:
 - a. WSB shall attend one meeting with the City to allow staff to review and comment on the schematic designs prior to the City Council meeting for discussion and potential revisions.
 - b. WSB shall attend one City Council Meeting to allow council members and the public to review and comment on the concept plans.

3. **Preferred Design:** WSB shall prepare one overall preferred design alternative graphic based on the adopted concept plan, or combination of plans, for full development of the project area with preliminary cost estimates. The preferred design graphic will represent the design solution that best responds to the needs and desires of the City goals and will illustrate colors, textures, plant selection examples, and themes for the designs. Meetings during this phase include:
 - a. WSB shall attend one City Council Meeting for review and approval/adoption of the preferred design plan.

B. Task “B” – Final Landscape Design Services

1. Construction Documents: WSB shall prepare Construction Documents for the landscape improvements based on the approved landscape design, as approved by the City for inclusion in this project. These documents shall include plans and other drawings as necessary, as well as written specifications, in sufficient detail for the City to pursue competitive bids for the construction of the improvements. Construction Documents shall include the following:
 - a. Landscape Improvements: this includes plant material locations, identification, material sizes, site hardscape elements, and related details.
 - b. Meeting held at the 75% complete construction document package for review and comment.
 - c. Meeting held at the 95% complete construction document package for review and comment.
2. Design Coordination Meetings: Up to two design coordination meetings shall be held with the City, to include the following:
 - a. Meeting held at the 75% complete construction document package for review and comment.
 - b. Meeting held at the 95% complete construction document package for review and comment.
3. Bidding: WSB shall address questions related to the landscape improvements, preparation of addenda, and general correspondence during the bidding period.
4. Construction: WSB shall conduct the following tasks for the landscape related items for construction:
 - a. Attend the pre-construction meeting.
 - b. Review landscape related submittals.
 - c. Prepare change order information for the landscape design elements.
 - d. Attend two (2) site visits during construction of the landscape elements for adherence to plans and specifications.
 - e. Conduct one (1) walk through meeting for substantial completion and prepare final punch list.
 - f. Conduct one (1) walk through meeting for final acceptance.
 - g. Conduct one (1) walk through to identify materials that need replacement following the guarantee period.

C. Task "C" – Additional Services

1. **Miscellaneous Additional Services:** Services other than those listed in the Scope of Services above and requested and authorized in writing by the City. These services shall be billed on an hourly basis according to the WSB Rate Schedule.

ASSUMPTIONS AND EXCLUSIONS

This proposal includes the following assumptions and exclusions as related to this project:

1. Irrigation design is not included in this proposal and will be handled by including a performance specification for a design-build system as part of the construction documents.
2. Electrical engineering, hazardous waste engineering, geotechnical testing, structural engineering, and permits are not included in the proposal.

FEES FOR PROFESSIONAL SERVICES

It is proposed that this project be billed on an hourly not to exceed basis for the following design services for Task A and Task B.

Task A – Preliminary Landscape Design Services:	\$ 7,500
Task B – Final Landscape Design Services:	\$11,000
Total:	\$18,500

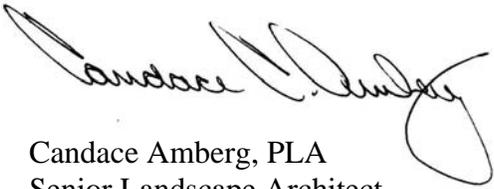
If you are in agreement with the terms as outlined above, please sign where indicated below and return one copy to our office.

Thank you for this opportunity to propose on this project. If you should have any questions regarding this proposal, please contact me at 763-231-4848

Sincerely,

WSB & Associates, Inc.

Accepted By (City of Sartell, MN):



Candace Amberg, PLA
Senior Landscape Architect

By: _____

Date: _____

RESOLUTION NO. _____

RESOLUTION ACCEPTING DONATIONS

WHEREAS, the City Council deems it advisable and in the best interest of the City to accept the following donation(s):

\$500 from Apple Duathlon to Public Works Equipment Fund

\$500 from Apple Duathlon to Police Equipment Fund

\$1,000 from Michael & Karel Helgeson toward Mill Art Project

\$1,625 from area business for the National Child Safety Council

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF SARTELL, that the above donations are hereby accepted by the City, and the following conditions, if any, are placed on the use of the gifts: None

ADOPTED BY THE SARTELL CITY COUNCIL THIS 13th DAY OF JULY, 2015.

MAYOR

ATTEST:

CITY ADMINISTRATOR

SEAL

SARTELL CITY COUNCIL

AGENDA COVER SHEET

Originating Department: Administration	Meeting Date: 7/13/2015	Agenda Item No. 60
Agenda Section: Consent	Item: Application/Permit for Temporary On Sale Liquor License	
<p>STAFF RECOMMENDATION: Approval</p> <p>BOARD/COMMISSION/OTHER RECOMMENDATION: None needed</p> <p>PREVIOUS COUNCIL ACTION: None</p> <p>BACKGROUND: St. Francis Xavier is requesting a temporary on sale liquor license for an event being held on Saturday, August 15, 2015. This is for their annual Fall Festival. State Statute allows up to 12 days' worth of temporary licenses per year, per organization (club, charitable, religious or other nonprofit). This will be the third one for SFX this year. They have provided us with a certificate of liquor liability insurance and the appropriate fees.</p> <p>BUDGET/FISCAL IMPACT: None</p> <p>ATTACHMENTS: MN DPS AGED Application and Permit Form</p> <p>COUNCIL ACTION REQUESTED: Consent agenda approval serves as approval of the application. If item is removed from Consent, separate motion is requested approving Application and Permit for a 1 Day Temporary On-Sale Liquor License.</p>		



Minnesota Department of Public Safety
 Alcohol and Gambling Enforcement Division
 445 Minnesota Street, Suite 222, St. Paul, MN 55101
 651-201-7500 Fax 651-297-5259 TTY 651-282-6555

**APPLICATION AND PERMIT FOR A 1 DAY
 TO 4 DAY TEMPORARY ON-SALE LIQUOR LICENSE**

Name of organization: St. Francis Xavier Church
 Date organized: Jan 1, 1948
 Tax exempt number: ES 20107
 Address: 219 2nd St N PO Box 150
 City: Sartell
 State: Minnesota
 Zip Code: 56377
 Name of person making application: Tom Offerdahl
 Business phone: 320-252-1363
 Home phone: 320-290-3228
 Date(s) of event: Saturday, August 15, 2015
 Type of organization: Club Charitable Religious Other non-profit

	Organization officer's name	City	State	Zip
X	Tim Baltus, Pastor	Sartell	Minnesota	56377
X	Mark Skaj, Trustee	St. Cloud	Minnesota	56303
X	Kathryn Kelly, Trustee	Olivia	Minnesota	56277

+ Add New Officer

Location where permit will be used. If an outdoor area, describe.
 Our parish grounds - south side of church.

If the applicant will contract for intoxicating liquor service give the name and address of the liquor license providing the service.

If the applicant will carry liquor liability insurance please provide the carrier's name and amount of coverage.
 Catholic Mutual Group - \$1,000,000.00

APPROVAL

APPLICATION MUST BE APPROVED BY CITY OR COUNTY BEFORE SUBMITTING TO ALCOHOL AND GAMBLING ENFORCEMENT

Sartell
 City or County approving the license
 \$20.00
 Fee Amount
 6/25/15
 Date Fee Paid
 7/13/15
 Date Approved
 8/15/15
 Permit Date
 peggy@sartellmn.com
 City or County E-mail Address
 320-253-2171
 City or County Phone Number

Peggy Schupp
 Signature City Clerk or County Official

Approved Director Alcohol and Gambling Enforcement



Minnesota Department of Public Safety
Alcohol and Gambling Enforcement Division
445 Minnesota Street, Suite 222, St. Paul, MN 55101
651-201-7500 Fax 651-297-5259 TTY 651-282-6555

**APPLICATION AND PERMIT FOR A 1 DAY
TO 4 DAY TEMPORARY ON-SALE LIQUOR LICENSE**

CLERKS NOTICE: Submit this form to Alcohol and Gambling Enforcement Division 30 days prior to event.

ONE SUBMISSION PER EMAIL, APPLICATION ONLY.

PLEASE PROVIDE A VALID E-MAIL ADDRESS FOR THE CITY/COUNTY AS ALL TEMPORARY PERMIT APPROVALS WILL BE SENT BACK VIA EMAIL. E-MAIL THE APPLICATION SIGNED BY CITY/COUNTY TO AGE.TEMPORARYAPPLICATION@STATE.MN.US

SARTELL CITY COUNCIL

AGENDA COVER SHEET

Originating Department Administration	Meeting Date July 13, 2015	Agenda Item No. 6p
Agenda Section Consent Agenda	Item Fund Transfers	
<p>RECOMMENDATION: Staff recommends approval of the following fund transfers/closures effective July 1, 2015:</p> <p>90% of 1st half tax increment payment (\$42,960.78) from TIF District Fund 5-4 to SAC fund #225 as per the plan for this TIF District to pay these development fees (2nd half increment will be paid to WAC fund).</p> <p>COUNCIL ACTION REQUESTED: Consent agenda approval serves as approval of the recommendation. If item is removed from Consent, separate motion is requested approving fund transfers.</p>		

SARTELL CITY COUNCIL

AGENDA COVER SHEET

Originating Department: Public Works	Meeting Date: July 13, 2015	Agenda Item No. 6q
Agenda Section: Consent	Item: 1st Street Bridge Lights	
<p>RECOMMENDATION: Staff recommends approval of attached quote, including 5 additional LED light conversions, for a total cost of \$10,882 from the City street fund.</p> <p>BACKGROUND: The lights on 1st Street bridge need repairs, and staff recommends converting all of them to LED as part of the same project.</p> <p>BUDGET/FISCAL IMPACT: No change to budget – existing street funds will be used.</p> <p>ATTACHMENTS: Design Electric service proposal.</p> <p>COUNCIL ACTION REQUESTED: Consent agenda approval serves as approval of the proposal from Design Electric. If item is removed from Consent, separate motion is requested approving attached proposal.</p>		

PROPOSAL

	DESIGN ELECTRIC	PHONE: (320) 252-1655 FAX: (320) 252-4276
	COLD SPRING ELECTRIC SERVICES	PHONE: 320-655-3863 FAX: 320-252-4276

4807 Heatherwood Rd. P.O. Box 1252
St. Cloud, MN 56302

PROPOSAL SUBMITTED TO: City of sartell		PHONE	DATE 6-26-15
STREET		JOB NAME Conductor and cabinet replacement	
CITY, STATE AND ZIP CODE		JOB LOCATION 1 st street bridge	
FAX	DATE OF PLANS	ATTN: John	JOB PHONE

We hereby submit specifications and estimates for:

Replace conductors and cabinet on bridge
2 circuits of #8 from new cabinet across bridge
Each light to be spliced in pole not in access boxes in sidewalk
1 new type B MNDOT lighting cabinet on wood pole with new meter socket
1 new feed to existing riser pole
1 new LED fixture on 1 pole
Sales tax and inspection fees

Alt #1 provide new LED fixture to each pole \$499.00 for each fixture $\times 5 = 2,495$

Thank you for allowing us to quote this project.

We propose hereby to furnish material and labor – complete in accordance with the above specifications, for the sum of:
Eight Thousand Three Hundred Eighty Seven dollars Dollars \$ 8387.00 + 2,495

Payment to be made as follows: 10,882

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workman's Compensation Insurance. There is no bond included unless noted otherwise.

Authorized Signature:

Nick Bischoff

Note: This proposal may be withdrawn by us if not accepted within 30 days.

Acceptance of Proposal – The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payments will be made as outlined above.

Signature: _____

Date of Acceptance: _____

Signature: _____

SARTELL CITY COUNCIL

AGENDA COVER SHEET

Originating Department Planning Department	Meeting Date: July 13, 2015	Agenda Item No. 6r
Agenda Section: Consent	Item: Resolution Making a Commission Appointment	

RECOMMENDATION:

Adopt resolution making a park commission appointment.

BOARD/COMMISSION/COMMITTEE RECOMMENDATION:

NA

PREVIOUS COUNCIL ACTION:

Interviews of 4 commission candidates were held on July 7, 2015 due to the vacancy of a remaining 3 year term on the Park Commission..

BACKGROUND:

The purpose of the resolution is to ratify the new appointment as follows:

Park Commission	Mike Burzette	12-31-17
-----------------	---------------	----------

BUDGET/FISCAL IMPACT:

NA

ATTACHMENTS:

1. Resolution Making Certain Commission Appointments

ACTION REQUESTED:

Consent agenda approval serves as approval of the attached Resolution. If item is removed from Consent, separate motion is requested to approve attached Resolution.

RESOLUTION NO. _____

RESOLUTION MAKING CERTAIN COMMISSION APPOINTMENTS

WHEREAS, the following are the current Park, Planning and Economic Development Commission members and terms:

<u>Office</u>	<u>Name</u>	<u>Term Expires</u>
PC	Ryan Fitzthum	12-31-15
PC	Gary Ormann	12-31-15
PC	Glen Persen	12-31-16
PC	Dawn Moen	12-31-16
PC	Anna Gruber	12-31-17
EDC	Mike Schoenecker	12-31-15
EDC	Bruce Stainbrook	12-31-15
EDC	Julie Whitney	12-31-15
EDC	Chad Zimmerman	12-31-15
EDC	Heladio Zavala	12-31-16
EDC	Brian Dauer	12-31-16
EDC	Jim Illies Jr	12-31-17
EDC	Dawn Loberg	12-31-17
Park	Rachel Lolmasteymaugh	12/31/15
Park	Dennis Molitor	12/31/15
Park	Diane Schellinger	12/31/15
Park	David Lindbloom	12/31/16
Park	Mike Burzette	12/31/17

And;

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF SARTELL, that the following appointment is hereby made to fill the Park Commission vacated as of 7.13.15 to the identified term:

Park Mike Burzette 12-31-17

ADOPTED BY THE SARTELL CITY COUNCIL THIS 13th DAY OF JULY 2015.

MAYOR

ATTEST:

CITY ADMINISTRATOR

SARTELL CITY COUNCIL

AGENDA COVER SHEET

Originating Department Planning Department	Meeting Date: July 13, 2015	Agenda Item No. 7a
Agenda Section: Public Hearing	Item: Land Use Amendment(s) and Rezoning(s)	

RECOMMENDATION:

Staff recommends approving the land use amendment(s) and rezoning(s) of seven properties from General Business to Medium Density Residential, and from B-2 to R-3.

The Land Use Amendment requests are subject to a public hearing by the Planning Commission which was held on July 6, 2015.

PLANNING COMMISSION PUBLIC TESTIMONY

Other than the applicants, only one person testified during the public hearing and was concerned that a large apartment complex would be constructed and that the public roadways would be vacated.

PLANNING COMMISSION RECOMMENDATION:

The Planning Commission recommended approval of both the land use amendment and the rezoning request (5/0).

PREVIOUS COUNCIL ACTION:

NA

BACKGROUND:

Loren and Jane Yarmon, Diverse Properties of Sartell, LLC and Linus and Barbara Katterhagen, owners of the properties located east of 1st Ave E. and general in-between/adjacent to 4th Street NE and 6th Street NE, have requested the approval of a land use amendment of seven adjacent and vacant or unoccupied (former gas station) properties from General Business to Medium Density Residential (0-10 units per acre) along with a rezoning request from B-2 (General Business) to R-3 (Multifamily Residential).

With the exception of the former gas station property, all of the properties have remained vacant with virtually no interest in general commercial development due to the size of the lots and their distance from a significant intersection. The property owners feel that the change in land use and rezoning will facilitate much needed new development and provide a far better transition of uses from the current demolition site (and rail-line) to the current single family lots surrounding the properties to the north and east.

The properties may be subject to future re-plats and site plan approvals in advance of any residential development. Single family, twinhomes, townhomes and apartments are allowed uses within an R-3. The max density would be 10 units per acre. When the total acreages are combined, there is a total of approximately 22 acres. There are no plans to vacate the public roadways separating the parcels. There may be some consideration or a request to vacate some of the internal alleys.

BUDGET/FISCAL IMPACT:

NA

ATTACHMENTS:

1. Sitemap prepared by the City
2. Findings of Fact for the Land Use Amendment
3. Land Use Amendment Resolution
4. Findings of Fact for the Rezoning
5. Rezoning Ordinance and Summary Ordinance

ACTION REQUESTED:

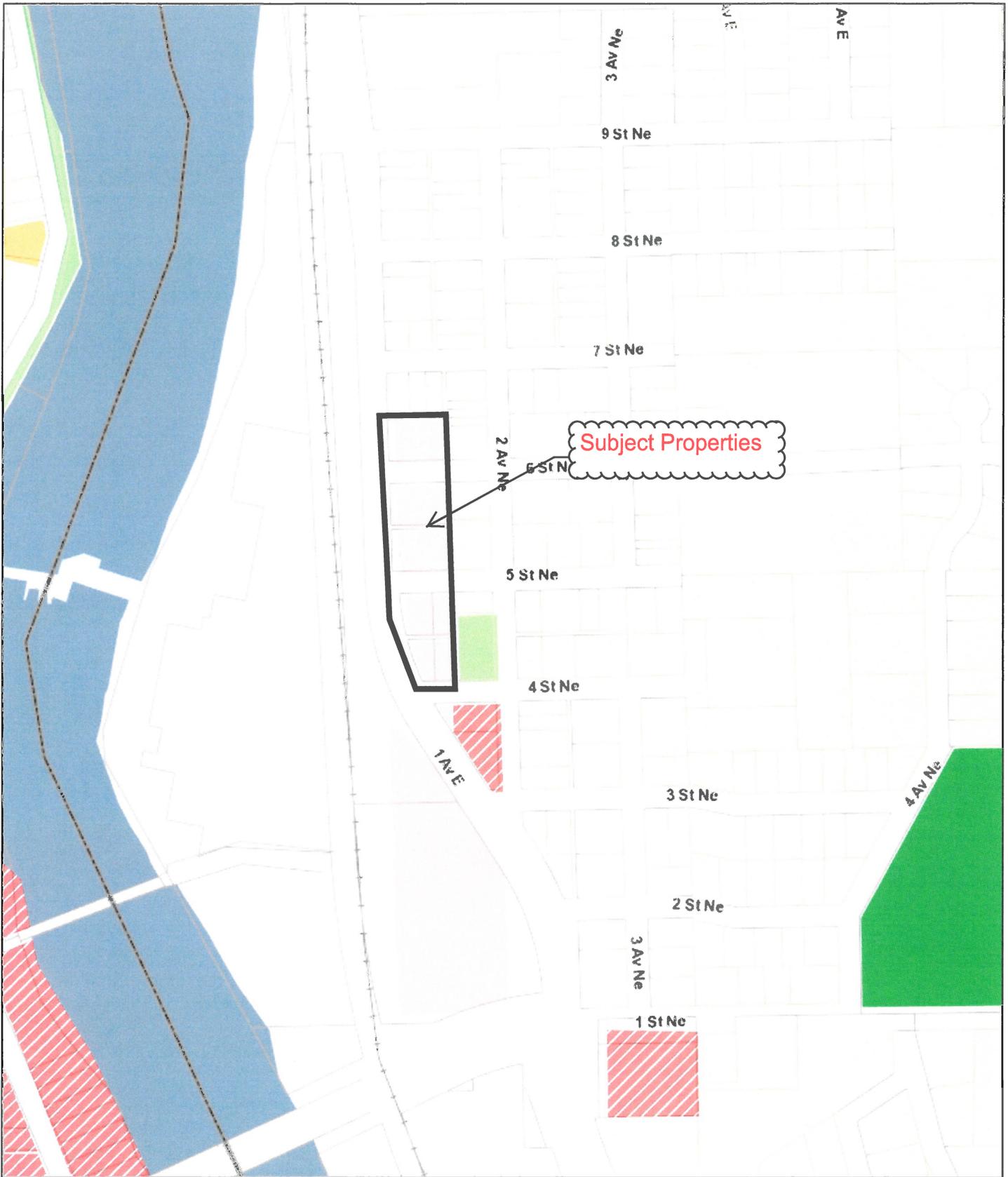
Hold a public hearing on the land use amendment and rezoning request. Move to approve the following documents:

1. Land Use Findings of Fact*
2. Land Use Resolution*
3. Rezoning Findings of Fact
4. Rezoning Ordinance and Summary Ordinance

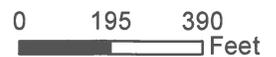
*Land Use Amendments are approved when a super majority (4 of 5) approve the request. This particular rezoning request would require just a majority (3 of 5) to approve the request.

Land Use Amendment

June 16, 2015



Subject Properties



City of Sartell

	GB		LB		PARK
	HDR		LDR		PUB
	HP		LF_BUFF		VLDR
	I		MDR		
	IO		MIX		

Map Powered by DataLink from WSB & Associates

Council member
for its adoption:

introduced the following resolution and moved

RESOLUTION #___

**A RESOLUTION ADOPTING FINDINGS OF FACT #___ RELATING TO A
LAND USE AMENDMENT REQUEST FROM GENERAL BUSINESS TO
MEDIUM DENSITY RESIDENTIAL**

WHEREAS, the City of Sartell received an application from Linus and Barbara Katerhagen, Loren and Jane Yarmon and Diverse Properties of Sartell LLC, owner(s) and applicant(s); for the request to amend the land use from General Business to Medium Density Residential in an area described as follows:

111 4th Street NE. (18.00162.00 and 18.0161.00) - .32 ACRES
418 1st Ave. E. (18.00164.00) - .27 ACRES
4XX 5th Street NE (18.00165.00) - .14 ACRES
5XX 5th Street NE (18.00132.00) - .49 ACRES
5XX 6th Street NE(18.00135.00) - .49 ACRES
600 1st Ave NE (18.00121.00) - .49 ACRES

“Subject Property.”

WHEREAS, the Planning Commission conducted the public hearing on July 6, 2015 meeting and recommended the approval; and

WHEREAS, the City Council conducted another public hearing on July 13, 2015

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE
CITY OF SARTELL, BENTON COUNTY, STATE OF MINNESOTA, as follows:**

1. That Linus and Barbara Katerhagen, Loren and Jane Yarmon and Diverse Properties of Sartell LLC hereinafter referred to as “Applicant,” submitted a complete application for a land use amendment request on the subject property(s).
2. That the subject property(s)are guided for general business, but the applicants are also requesting a land use amendment to medium density residential which will accommodate a density of 0-10 units per acre according to the City’s Comprehensive Plan as adopted on August 11, 2003.
3. The subject property(s) consist of 7 individual properties.
4. The property to the north and east consist of existing single family residential. The property to the south consists of existing commercial property. The property to the west consists of an active industrial/demolition site and active rail line.

5. That through our current ordinances, the properties under the designation of medium density will be able to transition from the industrial and commercial properties to the existing single family developments.

The motion for the adoption of the foregoing resolution was duly seconded by Council member _____, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

Whereupon said resolution was declared duly passed and adopted by the Sartell Planning Council this the 13th day of July, 2015.

CITY OF SARTELL:

By: _____
Mayor

By: _____
City Administrator

SEAL

Council member
moved for its adoption:

introduced the following resolution and

RESOLUTION #

A RESOLUTION APPROVING LAND USE AMENDMENT OF CERTAIN PROPERTIES FROM GENERAL BUSINESS TO MEDIUM DENSITY RESIDENTIAL

WHEREAS, Linus and Barbara Katerhagen, Loren and Jane Yarmon and Diverse Properties of Sartell LLC, had petitioned the land use amendment request of certain property; and

WHEREAS, the proper publication was mailed notice of the public hearing to consider this matter has been given; and

WHEREAS, The Planning Commission conducted a public hearing on July 6, 2015 and the City Council conducted the public hearing on July 13, 2015 at which all persons interested were given an opportunity to be heard; and

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SARTELL, BENTON COUNTY, STATE OF MINNESOTA: That the land use on the following property(s) is hereby amended from general business to medium density residential.

111 4th Street NE. (18.00162.00 and 18.0161.00)
418 1st Ave. E. (18.00164.00)
4XX 5th Street NE (18.00165.00)
5XX 5th Street NE (18.00132.00)
5XX 6th Street NE(18.00135.00)
600 1st Ave NE (18.00121.00)

BE IT FURTHER RESOLVED: That the clerk is here by authorized to record such classification from the described property upon the official land use maps.

The mention for the adoption of the forgoing resolution was duly seconded by Council Member and upon vote being taken thereon, the following

voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

Whereupon said resolution was acted on by the Sartell City Council on this the 13th day of July, 2015.

Mayor

ATTEST:

City Administrator

Councilmember
for its adoption:

introduced the following resolution and moved

RESOLUTION #___

**A RESOLUTION ADOPTING FINDINGS OF FACT #___ RELATING TO A
REZONING REQUEST FROM B-2 TO R-3 MULTIPLE FAMILY
RESIDENTIAL**

WHEREAS, the City of Sartell received an application Linus and Barbara Katerhagen, Loren and Jane Yarmon and Diverse Properties of Sartell LLC, owner(s) and applicant(s); for the request to rezone property from B-2 General Business to R-3 Multiple Family in an area described as follows:

111 4th Street NE. (18.00162.00 and 18.0161.00)
418 1st Ave. E. (18.00164.00)
4XX 5th Street NE (18.00165.00)
5XX 5th Street NE (18.00132.00)
5XX 6th Street NE(18.00135.00)
600 1st Ave NE (18.00121.00)

“Subject Property.”

WHEREAS, the Planning Commission considered the rezoning request at their July 6, 2015 meeting; and

WHEREAS, The City Council conducted the public hearing on July 13, 2015.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE
CITY OF SARTELL, BENTON COUNTY, STATE OF MINNESOTA, as follows:**

1. That Linus and Barbara Katerhagen, Loren and Jane Yarmon and Diverse Properties of Sartell LLC hereinafter referred to as “Applicant,” submitted a complete application for a rezoning request on the subject property(s).
2. That the subject property(s)are guided for general business, but the applicants are also requesting a land use amendment to medium density residential which will accommodate a density of 0-10 units per acre according to the City’s Comprehensive Plan as adopted on August 11, 2003.
3. That the R-3 zoning designation is an appropriate zoning district, which would be consistent with the Comprehensive Plan if the land use amendment was also granted.

The motion for the adoption of the foregoing resolution was duly seconded by Council member _____, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

Whereupon said resolution was declared duly passed and adopted by the Sartell City Council this the 13th day of July, 2015.

CITY OF SARTELL:

By: _____
Mayor

By: _____
City Administrator

SEAL

CERTIFICATION

I, Mary Degiovanni, City Administrator of the City of Sartell, do hereby certify that the foregoing is a true and correct copy of a resolution by the Council of the City of Sartell at a regular meeting held on the 13th day of July, 2015.

Mary Degiovanni
City Administrator
City of Sartell, Minnesota

Ordinance No. 15-_____

**AN ORDINANCE ESTABLISHING THE REZONING OF PROPERTY TO R-3
MULTIPLE FAMILY RESIDENTIAL**

On July 13, 2015, the City Council approved the rezoning designation for seven properties generally located to the East 1st Ave E and between 4th Street NE and 6th Street NE as R-3, Multiple Family Residential.

A printed copy of the Ordinance and complete legal description are available for inspection by any person at the office of the City Clerk, Monday through Friday, between 7:00 a.m. and 4:30 p.m.

This document hereby is made a part of this ordinance and is attached hereto.

Mayor

ATTEST:

City Administrator

SEAL

PUBLISHED IN THE SARTELL NEWSLEADER ON _____

Council member
moved for its adoption:

introduced the following ordinance and

ORDINANCE #

A ORDINANCE APPROVING REZONING OF CERTAIN PROPERTIES FROM B-2 GENERAL BUSINESS TO R-3 MULTIPLE FAMILY RESIDENCE

WHEREAS, Linus and Barbara Katerhagen, Loren and Jane Yarmon and Diverse Properties of Sartell LLC had petitioned the rezoning request of certain property has been referred and heard by the Planning Commission; and

WHEREAS, the proper publication was mailed notice of a public hearing to consider this matter has been given; and

WHEREAS, The City Council conducted the public hearing on July 13, 2015 at which all persons interested were given an opportunity to be heard; and

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SARTELL, BENTON COUNTY, STATE OF MINNESOTA: That rezoning the property described as follows is hereby amended from B-2 General Business to R-3 Multiple Family Residence:

111 4th Street NE. (18.00162.00 and 18.0161.00)
418 1st Ave. E. (18.00164.00)
4XX 5th Street NE (18.00165.00)
5XX 5th Street NE (18.00132.00)
5XX 6th Street NE(18.00135.00)
600 1st Ave NE (18.00121.00)

BE IT FURTHER RESOLVED: That the clerk is here by authorized to record such classification from the described property upon the official zoning maps.

The mention for the adoption of the forgoing resolution was duly seconded by Council Member and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

Whereupon said resolution was declared duly adopted by the Sartell City Council on this the 13th day of July , 2015.

Mayor

ATTEST:

City Administrator

**SARTELL
PLANNING COMMISSION**

**AGENDA
COVER MEMO**

Originating Department Planning, Engineering Departments	Meeting Date: July 13, 2015	Agenda Item No. 7b
Agenda Section: Public Hearing and Related Items	Item: Providence – Rezoning, Preliminary Plat, WCA, Final Plat	

RECOMMENDATION:

Staff recommends **approving** the rezoning, preliminary plat, WCA permit and final plat requests subject to the conditions.

COMMISSION RECOMMENDATION

Rezoning Request -

The Planning Commission recommended approval (5/0)

Preliminary Plat Request –

The Planning Commission recommended approval (5/0) with two additional conditions of approval:

1. That the 11th Court and Providence Court cul-de-sac's be connected, eliminating the two cul-de-sacs.
2. Phases 4-6 will not be able to proceed until after the 15th Street North connection is made from Pinecone Road to 19th Avenue.

Final Plat request –

The Planning Commission recommended approval (4/1).

The dissenting vote (Orman) was due to his concern regarding the impact this development will make on the surrounding area. We should have all roads in place before we add additional development.

COMMISSION COMMENTS (generalized comment have not been approved by the Commission)

- Concern over the amount of traffic that will have to use 19th Avenue, which is believed to be over capacity at this point.
- The proposed cul-de-sacs do not meet the intent of the subdivision code due to the fact that the ends could easily be joined into one street (they are unnecessary).
- A great development, but there should be pressure on the City to move the important collector roadway (15th Street N).
- The 2013 traffic counts should be updated and do not reflect the current traffic situation.

PUBLIC INPUT (because this is an ESA Plat, the Commission held a public hearing).

- Nestel – Concerned about the traffic speeds and safety on 15th Ave and Cougar Lane (within The Wilds). Would like speed minimized through the Wilds.
- Perske – Wanted to ensure the 50 foot easement was in place for the protected waterbody. Asked if there will be a trail through the wetlands proceeding north. Concerned about 19th Avenue and that the current construction does not meet the current needs.
- Loebel – Concerned about the existing traffic speeds and safety on 15th Ave and Cougar Lane. Would like stop signs installed. Would like the developer to pay for any damage to the existing roads.
- Ferns – Concerned about the existing condition of the public parks in The Wilds, they should be maintained better. Hopes that any park dedication obtained may assist in those efforts. Concerned about his landlocked property and gaining access in the future.
- Blaine – Asked about all the reports generated for this development, and if there is satisfaction in the quality of the reports.
- Sartell Development LLC (Developer) – The cul-de-sacs were proposed to reduce the amount of impact to the vegetation the plan was hoping to preserve. Opposed to any phasing restrictions or a change in the layout because the current layout was a collective discussion and agreement by staff and that if it were to be modified, the project would be financially unfeasible. Agrees on the necessity of having 15th Street North constructed.

BACKGROUND:

Applicant Information: Sartell Development LLC (applicant)

Existing Zoning: R-1 (30 front, rear and corner street setbacks; 10 interior side setbacks and 35' height restriction).

Future Land Use: Low-Density Residential (0-5 units per acre)

Transportation:

Typical neighborhood roads (36' curb to curb) within this development.

Next collector east/west collector roadway (38'+) will be 15th Street North. The City is submitting a 2016 Consolidated Planning Grant (CPG) grant to the APO (July 1, 2015) to study a potential route for this collector roadway from Pinecone Road to Townline Road. The construction of 15th Street North is proposed to be initiated some time after 2020 in the City's draft Financial Management Plan (to be considered and approved by the Council during the budgetary process/cycle).

13th Avenue (North-South) is unable to proceed north due to some significant wetlands

and would be impractical given the purchase of Pinecone Central Park. That roadway elimination was reflected in the transportation north study.

TRAFFIC EVALUATION:

19th Avenue N. is designated as an existing arterial/collector roadway from CSAH 4 on the south to north at 11th Street N and is shown as a future arterial/collector from 11th Street N. to 27th Street N. 19th Avenue is essential in maintaining traffic flow in the North-South directions as one of only three North-South Roadways crossing the Watab River, with the others being Riverside Avenue and Pinecone Road. The most current traffic counts available for the 600 Block of 19th Avenue North were taken in 2013 and indicate an approximate average daily traffic volume of 1750 vehicles per day. South of 2 ½ Street N the 2012 MnDOT traffic counts indicate an ADT of 3400 and a draft ADT of 3750 based on 2014 counts.

Based on the Providence Development full build out in 2027 a total increase in traffic would be approximately 800 vehicles per day (VPD) based on 80 homes and an average of 10 trips/day/home. Below is an estimate of the increase in traffic broken down by street. Note that upon the completion of Providence Drive I would anticipate the traffic levels on Grizzly Lane would return to Pre-Providence levels and may decrease from current levels due to the use of 10th Street N and Providence Drive by existing travelers from the Celebration Addition wanting to access Central Park Boulevard.

Phase	Year	Added ADT	Cumulative ADT	Street			
				13th Ave. N	Central. Park Blvd	19th Ave N.	Grizzly Lane
1	2017	150	150	75	75	0	0
2	2019	150	300	75	75	150	57
3	2021	130	430	75	75	280	106.4
4	2023	150	580	75	75	420	159.6
5	2025	100	680	100	100	470	()
6	2027	120	800	130	130	540	()

800

19th Avenue - Assumes no trips divert to Grizzly Lane

Grizzly Lane - Assumes 25% of trips use Grizzly Lane

Grizzly Lane - Assumes all additional traffic uses Central Park Blvd.

At full build out in 2027 the traffic increase in the 600 Block of 19th Avenue North would increase by 540 vehicles per day and based on the 2013 traffic counts of 1736 VPD this would represent a 31% increase in traffic in a 14 year period or approximately 2.2% annual growth rate assuming no other development occurs north of 11th Street N. This is well within the traffic growth rates used by MnDOT and Stearns County.

The increased traffic on Grizzly Lane is estimated to be 16% by the year 2023 and then is estimated to return to the existing traffic levels of today. We currently do not have traffic counts on 13th Avenue N or Central Park Boulevard, but the increases of 130 VPD for each roadway is not significant and should not pose any traffic issues. As growth continues to the north 15th Avenue N should be extended from 19th Avenue N to Pinecone to provide and alternate route to 19th Avenue N and other east-west streets. Also as growth continues in this area improvements to 19th Avenue N may be required. These improvements may include traffic control at various intersections and widening of the roadway.

Requested Plan: Rezone and Plat a single family development within an Environmentally Sensitive Area

Site Area 71.49 Acres

Location: East of 19th Avenue North, west of Pinecone Central Park.

Rezoning Request

Currently the property is designated as R-1 (single family). The property is in a designated environmentally sensitive area due to wooded area in the NW, the abundance of wetlands and a DNR protected water. The property owner is requesting the rezoning to a PUD to allow for variations in the typical R-1 standards in exchange for meeting certain environmental protection (or mitigation) measures. The rezoning is consistent with the future land use plan. The terms of the PUD is spelled out in the Natural Resource Management Plan and through the conditions of the preliminary plat as stated in the resolution.

Rezoning Conditions of Approval

None

Preliminary Plat Request

Lot Information:

80 Single Family Lots

Lot Sizes Proposed - .28 - 3.12 acres, Average size - .80 acres

(R-1 Typical - .22 minimum)

Setbacks proposed – Front 25, side yard 10', corner side/street side 25', rear 30'

(R-1 Typical – 30' front, street-side and rear; 10' side)

Wetland Setbacks – wetlands less than 5 acres (30 feet from delineation line). Wetlands greater than 5 acres (40 feet from the delineation line).

Height Proposed – 40 feet.

(R-1 Typical - 35 feet)

Average width – 75'

Min Street lot width – 50'

Local/Neighborhood Roadway Proposed – 66' of ROW, street design – 36' curb to curb.
Exception – through the wetland area the roadway narrows to 28' (no parking on either side of the street within that short section).

Phasing Plan – 6 Phases through 2027

Proposed Improvements:

- All appropriate local/neighborhood right of ways per City requirements.
- Sidewalks are proposed on one side of all streets.
- The park dedication formula is unit based. (1150 sf or \$978 per single-family unit). Because of the proximity of an improved public park, a payment in lieu of park land dedication would be appropriate. Payment would be collected with each final plat.
- Storm ponds designed to meet the needs of the neighborhood and which (may) also connect into the City-wide System
- Wetland enhancement (east side) to potentially increase regional storm capacity. Credit for the increase in storm capacity (above and beyond) would be credited during phase 5.
- All lots will be mass graded, with building pads set with the exception of lots 1-9, in block 5 and lots 1-15 in block 6.
- Based on the grading plan, the lots will be “built up” which results creates driveway slopes for Ramblers (R) around 5.6% to 8.8%; Look Outs (LO) around 7.6% to 8.9%; and Walk Outs (WO) around 5.5% to 8.8%. Home types (LO,WO and R) and grades MUST be constructed as depicted in the preliminary grading plan. A change in one housing type proposed during the building permit process will require a new grading plan for the entire development.
- There are no current requests for a reduction in fees (June 5, 2015, narrative).
- Many of the lots within block 5 (lots 29-35) have shallow building areas because the wetland setback lines are shallow. Those lots, in many cases, will have approximately - 30 feet of lawn from the back of the home before it reaches the wetland buffer area. Within the approximate 20 feet, homeowners will not be able to place accessory structures or additions onto the home including a deck or patio. Within the wetland buffer area, absolutely no structures or activities, including mowing or dumping of clippings are allowed. Also, it is very unlikely that those lots could be anything but lookouts with deck/patio structures locating in the side yards.
- Based on the memo prepared by the developer (6/24/2015), the shallow lots are for those wishing to not have a large backyard. What we have found in the past with properties which contain wetlands, is that the buyer is typically unaware of where the actual wetlands/buffer and development restrictions are present on the property. The responsibility to inform the homebuyer of the development restrictions is that of the developer.

Preliminary Plat Conditions of Approval

1. Approval is contingent on TEP/WCA application request (TEP recommended approval based on conditions as outlined in the Natural Resource Management Plan.

2. All provisions as outlined in the Natural Resource Management Plan
Also to the individual lot grading plans required for lots 1-6 and 9-15, in block 5 and lots 1-15 in block 6.
3. Additional screening along all double frontage lots (along 19th Avenue) per the ordinance
4. All engineering (memo dated) issues are resolved. Including no variations in the typical curb design as designed by the City Engineer.
5. Plat will need to be consistent with all fire and building code provisions.
6. Developer will be responsible for all trunk and park charges, security fees, along with all costs associated with the installation of utilities, street and wetland signs, roadways, paths, sidewalks, lights, mailboxes (per the new USPS standards). Storm trunk credit may be determined and granted after any improvements or wetland enhancements are completed and will be applied to the phase five.
7. The properties with wetlands will need to erect signs at the edge of the wetland buffer area to ensure there will not be any encroachment.

The Planning Commission recommended approval (5/0) with two additional conditions of approval:

1. That the 11th Court and Providence Court cul-de-sac's be connected, eliminating the two cul-de-sacs.
2. Phases 4-6 will not be able to proceed until after the 15th Street North connection is made from Pinecone Road to 19th Avenue.

Final Plat Request

Phase 1

15 Single Family Lots

1 Outlot

20,000 sf and greater

Setbacks proposed – Front 25', side 10', street side 25', rear 30'

Consistent with the preliminary plat.

Final Plat Conditions of Approval:

1. A development sign may be allowed as so long as it is constructed according to city ordinances (size) and materials.
2. Prior to the issuance of a certificate of occupancy, each lot will be required to plant one tree in the front yard based on the City Standards.

3. All of the proposed lots, housing types and/or elevations shall be constructed as proposed. If there is a desire to substantially deviate during the building permit process, the builder/developer will be responsible for obtaining a new grading plan approval from the City (along with application/fees).
4. Wetland delineation and buffer signs, per city code, shall be installed prior to the release of any building permits.
5. This development is subject to trunk storm, water and sewer fees and park as dictated in the Development Agreement. The outlots will be subject to future trunk fees and dedication requirements.
6. Approval is contingent on TEP/WCA application request
7. Temporary easement needed (obtained) for the temporary (bituminous only) emergency turnaround (per Fire Code) at the end of Providence Drive prior to the release of the plat for recording. Temporary hydrant is also required at the end of the emergency turnaround. Private driveways may not be used as the temporary emergency turnaround. The turnaround is subject to the wetland setback/buffer requirements.

BUDGET/FISCAL IMPACT:

All improvements as outlined in the Preliminary Plat, the Natural Resource Management Plan and (Final Plat Development Agreement) are the sole responsibility of the Applicant. The City will consider an extra credit to the storm trunk fees if through the wetland enhancement areas, a regional benefit it achieved. That credit will be determined at the time the enhancement is satisfactorily completed and will be applied to the next phase of the development.

ATTACHMENTS:

1. Rezoning Ordinance/Resolutions
2. Preliminary Plat Plans/Resolutions
3. Wetland Conservation Act Resolution
4. Natural Resource Management Plan
5. Final Plat/Resolutions/Development Agreement
6. Future Land Use Plan/Transportation Plan
7. Police, Fire and Engineering Staff Memos

ACTION REQUESTED:

Upon taking input during the public hearing, move to approve the following requests:

1. Resolution Findings of Fact approving the rezoning
2. Ordinance and Ordinance summary approving the rezoning
3. Resolution approving the preliminary plat and natural resource management plan
(Resolution contains the two additional conditions recommended by the Commission. If it is the desire to eliminate any conditions, please amend the resolution).

Not subject to the public hearing

4. Resolution approving the Wetland Conservation Action
5. Resolution approving the final plat and development agreement

Council member
adoption

introduced the following resolution and moved for its

**RESOLUTION NO.
RESOLUTION APPROVING THE PRELIMINARY
PLAT AND NATURAL RESOURCE MANAGEMENT PLAN
PROVIDENCE**

WHEREAS, the proposed plat has been reviewed by the city engineer; and

WHEREAS, after proper notice was given, and extended., and a public hearing at the Planning Commission meeting was held on July 6, 2015, and by the City Council on July 13, 2015 at which time all persons present wishing to be heard regarding the matter were given an opportunity to be heard.

WHEREAS, the conditions of approval include:

1. Approval is contingent on TEP/WCA application request (TEP recommended approval based on conditions as outlined in the Natural Resource Management Plan.
2. All provisions as outlined in the Natural Resource Management Plan Also to the individual lot grading plans required for lots 1-6 and 9-15, in block 5 and lots 1-15 in block 6.
3. Additional screening along all double frontage lots (along 19th Avenue) per the ordinance
4. All engineering (memo dated) issues are resolved. Including no variations in the typical curb design as designed by the City Engineer.
5. Plat will need to be consistent with all fire and building code provisions.
6. Developer will be responsible for all trunk and park charges, security fees, along with all costs associated with the installation of utilities, street and wetland signs, roadways, paths, sidewalks, lights, mailboxes (per the new USPS standards). Storm trunk credit may be determined and granted after any improvements or wetland enhancements are completed and will be applied to the phase five.
7. The properties with wetlands will need to erect signs at the edge of the wetland buffer area to ensure there will not be any encroachment.
8. That the 11th Court and Providence Court cul-de-sac's be connected, eliminating the two cul-de-sacs.
9. Phases 4-6 will not be able to proceed until after the 15th Street North connection is made from Pinecone Road to 19th Avenue.

The motion for the adoption of the foregoing resolution was duly seconded by Commission member _____, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

whereupon said resolution was declared duly passed and adopted by the Sartell City Council this the 13th day of July, 2015.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF SARTELL, MINNESOTA: That the preliminary plat of Providence described as follows be approved:

LEGAL DESCRIPTION PER TITLE COMMITMENT:

Parcel 1:

Outlots C, D and E, Cougar Place, Stearns County, Minnesota

Parcel 2:

The North Half of the Southwest Quarter (N 1/2 SW 1/4) less and except the South 317.00 feet thereof, in Section Seventeen (17), Township One Hundred Twenty-five (125), Range Twenty-eight (28), Stearns County, Minnesota.

ADOPTED BY THE SARTELL CITY COUNCIL THIS 13 DAY OF July, 2015.

Mayor

ATTEST:

City Administrator

SEAL

CERTIFICATION

I, Mary Degiovanni, City Administrator of the City of Sartell, do hereby certify that the foregoing is a true and correct copy of a resolution adopted by the Council the City of Sartell at a regular meeting held on the _____ day of _____, 2015.

Mary Degiovanni
City Administrator
City of Sartell, Minnesota

**NATURAL RESOURCE MANAGEMENT PLAN
PROVIDENCE**

The purpose of the Natural Resource Management Plan (“Plan”) is to outline specific management and protection measures and how they will be accomplished for the Environmentally Sensitive Area and any buffer areas.

THIS PLAN made effective the day of, 2015, by and between the City of Sartell, a municipal corporation of the State of Minnesota (the “City”), and Sartell Development, LLC, a Minnesota Corporation, (the “Developer”).

RECITALS

- A. The Developer is the fee owner of the property situated in the City of Sartell and legally described on the attached Exhibit A (the “Subject Property”).
- B. The Developer has requested and received preliminary plat approval to facilitate development of the Subject Property with single-family units on _____, 2015.
- C. All subsequent plats within the Subject Property are bound by the provisions of the Plan.
- D. The Developer acknowledges that Developer is responsible for all costs incurred by it or the City in conjunction with the development of this Plan, including, but not limited to construction of improvements, legal, planning, engineering and inspection expenses incurred in connection with approval and acceptance of the Plan, the preparation of this Agreement, and all costs and expenses incurred by the City in monitoring and inspecting development of the Plat and improvements therein, unless otherwise provided herein.

SECTION 1. LEGAL DESCRIPTION

Parcel 1:

Outlots C, D and E, Cougar Place, Stearns County, Minnesota

Parcel 2:

The North Half of the Southwest Quarter (N 1/2 SW 1/4) less and except the South 317.00 feet thereof, in Section Seventeen (17), Township One Hundred Twenty-five (125), Range Twenty-eight (28), Stearns County, Minnesota.

SECTION 2. SITE DESCRIPTION

The Providence development is a 71.49 acre development located east of 19th Avenue and west of Pinecone Central Park. There is undeveloped property to the north which is currently in LeSauk Township. The property to the west and south are currently developed with single family residential developments. The subject property has been identified as an environmentally sensitive areas (ESA) due to the fact that there is a DNR protected water that runs through a portion of the property. There is another ESA which is wooded on the westerly portion of the property and wetlands throughout the development. A ditch runs along and near the southerly edge of the property.

Wetlands

A wetland delineation was performed at the site in the fall of 2013. Wetland impacts are being proposed to allow some additional lot build-ability and to connect two neighborhood public roadways through the development. The wetland replacement plan approved on July 13, 2015.

As part of the ESA, wetland enhancements are proposed to be created during future phases to allow for higher quality wetlands. Some, if not all of the materials from the enhanced wetland areas will be used as fill for building and infrastructure improvements. If completed, it is also anticipated that the enhancement will allow for additional flood storage to help protect downstream residents from flooding.

Trees

The developer is generally proposing typical lots within the wooded areas (NW area of the property). There are extra provisions regarding individual grading plans which will include measures to ensure the minimal loss of trees.

SECTION 3. RECOMMENDATIONS

General

a. Setbacks.

Interior side yard setbacks shall remain 10 feet to ensure at least 20 feet between homes. Front setbacks, and street corner setbacks may be reduced to a minimum of 25 feet (from 30 feet) for all lots to ensure adequate parking stacking in the driveways without encroaching into the right of way. Dwelling or Principal residence height may be extended to 40 feet from grade (typically 35 feet).

Wetlands

- a. Wetland delineations shall be reviewed every five years (next review date would be 2018). If there are changes to the delineations, the plat will need to adjust accordingly to ensure adequate lot sizes and setback/buffer requirements. If the wetland shrink in size, then the developer will need to provide additional replacement credits. If the developer discovers the loss of wetland and report it then the replacement ratio could be 2:1. If the City discovers the wetlands have shrunk than the replacement ratio should be 4:1 through enforcement.
- b. If any of the City's ordinances regulating environmental issues, including but not limited to wetlands, shorelands, and stormwater, are amended post preliminary plat approval; the subsequent final plat will need to be adjusted accordingly.
- c. Roadway design modifications are required at the wetland crossing. The roadway shall be designed to minimize wetland impacts while still meeting transportation and public safety requirements.
- d. Any wetland mitigation shall be accomplished by purchasing off-site wetland bank credits in accordance with the Wetland Conservation Act. Wetland impacts will be mitigated for prior to each phase of the development. The Developer will submit to the City proof of purchase of wetland bank credits (debited credits).
- e. The Developer will provide additional information regarding best management practices for establishing a native plant community within this area, and also acknowledged the area will be identified by signs. The Applicant will provide a reasonable vegetation management and monitoring plan to ensure the wetland enhancement area establishes successfully with primarily native vegetation, and that noxious weeds are managed to allow for the native plant community to establish. This requirement will be monitored by the City and all successors and assigns of the properties will carry the responsibility of the long term maintenance of all the wetlands.
- f. Future storm Trunk credit for additional public water storage may be obtained based on an actual cost minus development benefit ratio and will be evaluated based on actual improvements during each phase.
- g. Wetland buffers shall be left native and be signed according to the City's wetland ordinance requirements.

Wooded Area (NW Corner)

- h. Remove all buckthorn and other invasive species to the maximum extent practicable.
- i. As indicated on the preliminary plat, individual grading plans shall be provided for those lots within the tree preservation area. Those areas will not be subject to the mass grading requirement.
- j. Additional specimen trees shall be protected by following measures in the University of Minnesota Extension Booklet, "Protecting Trees from Construction Damage, a Homeowner's Guide," available at www.extension.umn.edu

MISCELLANEOUS

Representations. The Developer represents that the Plan complies with all city, county, state, and federal laws and regulations, including but not limited to: subdivision ordinances, zoning ordinances, and environmental regulations and permits thereto related. If the City determines that the Plan does not comply, the City may refuse to allow construction or development work in the Plat until compliance is achieved.

Assignment. This Plan cannot be assigned or transferred without the written consent of the City. A breach of the terms of this Agreement by the Developer, including the unauthorized assignment or transfer of the Agreement, will be grounds for denial of the issuance of any building permit.

Waivers. The rights of the City under this Agreement are in addition to any other rights under statute, ordinance or any other agreement. The action or inaction of the City will not constitute a waiver or amendment under the provisions of this Plan. To be binding, amendments or waivers will be in writing, signed by the parties and approved by the City Council. The City's failure to promptly take legal action to enforce this Agreement will not be a waiver or release. There is no intent to benefit any third parties and third parties will have no recourse against the City under this Agreement.

Reimbursement. The Developer will reimburse the City for all costs incurred by the City in the defense or enforcement of this Plan or any portion thereof, including court cost and reasonable engineering and attorneys' fees.

License to Enter Land. The Developer hereby grants the City, its agents, employees, officers and contractors a license to enter the Subject Property to perform all work and/or inspections deemed appropriate by the City during the development of the Subject Property.

Violation of This Agreement. If the Developer fails to perform any of the terms of this Plan in the manner required by the City, the City shall be entitled to recover, from the Developer or the issuer of Developer's financial guarantee, the full amount of any and all financial guarantees. Breach of any of the terms of this Plan by the Developer shall also be grounds for denial of Building or Occupancy Permits for buildings in the Plat.

Agreement Binding. The terms and provision hereof shall be binding upon, and inure to the benefit of the heirs, representatives, successors and assigns of the parties hereto and shall be binding upon all future owners of all or any part of the Subject Property and shall be deemed covenants running with the land.

Indemnification. The Developer will have no claim against the City and its officers and employees for damages sustained or costs incurred resulting from plat approval and development. The City and its officers, agents and employees will not be personally liable or responsible in any manner to the Developer, contractor or subcontractors, suppliers, laborers, or to any other person or persons whomsoever, for any claims, demands, damages, actions, or causes of action of any kind or character whatsoever arising out of or by reason of the execution of this Agreement, or the design, performance, and completion of the work and the improvements to be provided by Developer pursuant to this Agreement. The Developer will hold the City harmless from claims by third parties, including but not limited to other property owners, contractors, subcontractors and suppliers, for damages sustained or costs incurred resulting from plat approval and the development of the Property. The Developer agrees to indemnify, defend and hold harmless the City, its agents and employees from any claim, demand, suit, action or other proceeding whatsoever by any person for any loss or damage to property or any injury to or death of any person resulting from any actions by the Developer, or its agents or contractors.

Invalidity of Any Section. If any portion, section, subsection, sentence, clause, paragraph or phase of this Plan is for any reason held to be invalid by a court of competent jurisdiction, such decision shall not effect or void any of the other provisions of this Plan.

DEFAULT ON AGREEMENT

Events of Default. The following shall be "Events of Default" under this Plan and the term "events of default" shall mean, whenever it is used in this Plan (unless the context otherwise provides) any one or more of the following events:

- A. Failure by the Developer to observe and substantially perform any covenant, condition, obligation, or agreement on its part to be observed or performed hereunder, including providing security or renewal of security as provided in this Agreement.
- B. If the Developer shall admit in writing its inability to pay its debts, generally as they become due, or shall file a petition in bankruptcy, or shall make an assignment for the benefit of its creditors, or shall consent to the appointment of a receiver of itself or of the whole or any substantial part of the Subject Property.
- C. If the Developer does not pay any assessments due on the property.

If the Developer fails to cure the Event of Default within ten (10) days of the date of notice sent to Developer by regular first class U.S. mail, Developer agrees that the City is hereby granted the right and privilege to declare any amounts expended by the City then due and payable as liquidated damages in full, and the City may immediately bring legal action against the Developer to collect such sums expended by the City; the Developer shall be personally responsible for payment of such sums; in addition, the City shall have a lien against the Subject Property. In addition to any other remedy provided in this Agreement, and without waiver of any such right, the City may avail itself of any or all of the following remedies:

1. Halt all Plat development work and construction of Improvements.
2. Refuse to issue building permits or occupancy permits as to any parcel until such time as the Event of Default is cured.
3. Apply to a court of competent jurisdiction to enjoin continuation of the Event of Default.
4. Terminate this Agreement by written notice to the Developer.

Addresses. The address of the Developer for the purposes of this Plan is:

The address of the City for the purposes of this Plan is:

City of Sartell
125 Pine Cone Road North
PO Box 140
Sartell, MN 56377

IN WITNESS WHEREOF, the parties have hereunto set their hands.

CITY OF SARTELL

By: _____ Date: _____
Mayor

By: _____
City Administrator

SARTELL DEVELOPMENT LLC, DEVELOPER AND LANDOWNER

By: _____ Date: _____
Its _____

STATE OF MINNESOTA)
) ss.
COUNTY OF STEARNS)

The foregoing was acknowledged before me the ____ day of _____, 2015, by Sarah Jane Nicoll and Mary Degiovanni, the Mayor and City Administrator, respectively, of the City of Sartell.

Notary Public

STATE OF MINNESOTA)
) ss.
COUNTY OF STEARNS)

The foregoing was acknowledged before me the ____ day of _____, 2015, by _____ of Sartell Development LLC.

Notary Public

Drafted By:

City of Sartell
125 Pine Cone Road North
Sartell, MN 56377

EXHIBIT A
LEGAL DESCRIPTION

Council member
moved for its adoption:

introduced the following resolution and

RESOLUTION _____

**RESOLUTION APPROVING WETLAND CONSERVATION ACT PERMIT FOR
PROVIDENCE**

WHEREAS, the project is located in the City of Sartell

WHEREAS, the proposed development is on 71 acres that will consist of 80 single family units.

WHEREAS, the TEP recommends approval of the Providence wetland replacement plan, with conditions, based on review of the information presented and discussed at the March 31 2015 TEP meeting.

WHEREAS, on April 6, 2015 Westwood submitted a wetland permits addendum for the project. The addendum splits out the wetland impacts from tributary impacts. The joint application form was revised to reflect those numbers. Also included was a revised plan sheet that shows those numbers and an added exhibit depicting the enhancement areas.

WHEREAS, the result of the revised calculations, the actual wetland impacts requiring replacement is 0.47 acres (rather than 0.63) and tributary impacts total 0.16 acres. Impacts to the MnDNR Watercourse represent 0.05 acres of the total tributary impacts.

WHEREAS, the US Army Corps of Engineers had requested the wetland impacts and tributary impacts be separated. The revised calculations result in 13,434 SF (previously a total of 0.42 acres) of wetland impact to Wetland A, and 4,663 SF of tributary impacts from the construction of a City-required local street connecting the east and west parts of the Site.

WHEREAS, a total of 6.65 acres of no-loss impacts are proposed, associated with scraping and excavation activities for the enhancement of portions of Wetland A, to increase its overall function, particularly with regard to flood storage and vegetative diversity. The wetland enhancement is in regard to the City's Environmentally Sensitive Areas Ordinance.

WHEREAS, the Wetland replacement credit for the 0.47 acres of permanent impact is proposed at a 2:1 ratio, totaling a required amount of 0.95 acres. The 0.95 acres of wetland replacement credit is proposed to be purchased from Wetland Bank Account #1183. This wetland bank is located within: a "less than 50% area", the same County (Stearns), the same major watershed (Mississippi), and Bank Service Area 7, which allows for a 2:1 replacement ratio, rather than a 2.5:1 ratio.

WHEREAS, This application was out for notice for 21 days and received no comments from the reviewing agencies. It is recommended that the Wetland Conservation Act Permit for Providence be approved with the following conditions:

1. The project will occur in phases. Wetland impacts will be mitigated per phase, meaning wetland credits (replacement) will be purchased by phase. Proof of wetland bank credits transaction (debited credits) will be provided to the City of Sartell prior to wetland impacts.
2. The Applicant will provide additional information regarding best management practices for establishing a native plant community within this area, and also acknowledged the area will be identified by signs. The Applicant will provide a reasonable vegetation management and monitoring plan to ensure the wetland enhancement area establishes successfully with primarily native vegetation, and that noxious weeds are managed to allow for the native plant community to establish.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF SARTELL, MINNESOTA: That the Wetland Conservation Act Permit Application submitted by Sartell Development, LLC on the property commonly referred to as Providence is hereby approved, with the above conditions.

ADOPTED BY THE SARTELL CITY COUNCIL THIS 13TH DAY OF JULY, 2015.

MAYOR

ATTEST:

CITY ADMINISTRATOR

SEAL

Council member
for its adoption:

introduced the following resolution and moved

RESOLUTION NO

**RESOLUTION APPROVING FINAL PLAT, AND DEVELOPMENT AGREEMENT
PROVIDENCE**

WHEREAS, a public hearing was held on the preliminary plat of Providence on July 6, 2015 and July 13, 2015 at which time all persons wishing to be heard regarding the matter were given an opportunity to be heard; and

WHEREAS, the council adopted a resolution approving the final plat with the following conditions:

1. A development sign may be allowed as so long as it is constructed according to city ordinances (size) and materials.
2. Prior to the issuance of a certificate of occupancy, each lot will be required to plant one tree in the front yard based on the City Standards.
3. All of the proposed lots, driveway entrances, housing types and elevations shall be constructed as proposed. If there is a desire to deviate substantially during the building permit process, the builder/developer will be responsible for obtaining a new grading plan approval from the City (along with application/fees).
4. Wetland delineation sign, per city code, shall be installed prior to the release of any building permits.
5. This development is subject to trunk storm, water and sewer fees and park as dictated in the Development Agreement. The outlots will be subject to future trunk fees and dedication requirements.
6. Approval is contingent on TEP/WCA application request
7. Temporary easement needed for the temporary (bituminous only) emergency turnaround (per Fire Code) at the end of Providence Drive prior to the release of the plat for recording. Temporary hydrant is also required at the end of the emergency turnaround.

WHEREAS, a final plat for Providence has been submitted which indicates that no significant changes within that portion of the preliminary plat, is included in the final plat.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF SARTELL, MINNESOTA: That the final plat and Development Agreement for Providence is approved.

ADOPTED BY THE SARTELL CITY COUNCIL THIS 13th DAY OF JULY, 2015.

Mayor

ATTEST:

Administrator

SEAL

CERTIFICATION

I, Mary Degiovanni, Administrator of the City of Sartell, do hereby certify that the foregoing is a true and correct copy of a resolution adopted by the Council of the City of Sartell at a regular meeting held on the__13th__day of July, 2015.

Mary Degiovanni
Administrator
City of Sartell, Minnesota

PLAT

Recording. The Developer will record the Plat and this Development Agreement with the County at Developer's expense prior to award of the construction contract for the Improvements or within one hundred and eighty (180) days of Final Plat approval, whichever is earlier, and will forward confirmation of the recording of the documents to the City. In the event that technical or clerical revisions are needed in this document or if for any reason the County Recorder deems the Development Agreement unrecordable, the Developer will cooperate with the City in the execution or amendment of any revised Development Agreement. If, for any reason, the Plat is not recorded by the County, Developer agrees to hold the City harmless for any costs incurred. It is expressly understood that Developer will have no claim for breach of this Agreement in the event the Plat is not recordable or revisions are required in the Plat. If the Plat is not recorded prior to the assignment of assessments, the Developer shall be responsible for all costs incurred in the dividing of assessments at a later date.

Monuments. The Developer will install Plat monuments within one year after recording the Plat. No building permit will be issued for a lot in the Plat until the lot monuments have been installed and certified by a registered land surveyor. Monuments will need to be relocated and/or replaced if they become buried or removed during the excavation/development of the property.

Permits. Upon execution of this Agreement, the Developer and other necessary parties shall promptly apply for all permits, approvals, licenses or other documents from any and all necessary governmental agencies (including but not limited to the City, Benton/Stearns County, the Pollution Control Agency, the Department of Health and the Department of Natural Resources) so as to enable the Improvements shown in the Plans as herein contemplated. The Developer shall use its best efforts to obtain the same as soon as reasonably possible.

IMPROVEMENTS

Improvements. The Developer proposes to install to City standards the following improvements within portions of the Plat: sanitary sewer and water mains, hydrants and lift stations as required, storm drainage, streets with concrete curb and gutter, street lights, mail boxes per the USPS guidelines, pedestrian walkways/trails, traffic control signs, landscaping requirements and appurtenances thereto (the "Improvements") and has requested the City prepare final plans and specifications for such Improvements (the "Plans"). The Developer will cause to be constructed at its cost the Improvements according to City standards and in accordance with the Plans to be designed by the City Engineer. The parties agree that the Developer will not start construction of any structure in the Plat until the City has approved and accepted the construction of the Improvements, except street wear course, unless the City agrees otherwise in writing. The Developer will provide City with As Built drawings promptly upon completion of construction of the Improvements.

City To Approve Contractor. The City will have the right to approve the contractor and subcontractors who will complete the construction and installation of the Improvements called

for in this Agreement. Notwithstanding the City's approval of a contractor or subcontractor, Developer will accept responsibility as the General Contractor for the construction and installation of the Improvements. The City's approval of the Contractor and/or subcontractors shall not be unreasonably withheld.

Security. It is agreed that the City has the right, privilege and authority as a condition precedent to the approval of the Plans and approval of the Plat to prescribe design requirements for Improvements within the Plat. Developer will provide and maintain a Letter of Credit in a form acceptable to the City in the amount of <\$516,000.00>, which may be adjusted to 100% of bid construction costs when known and agreed to by the City Engineer to guarantee timely and satisfactory construction of the Improvements and Developer's performance of all terms of this Agreement. Upon completion, inspection, and acceptance by the City of the Improvements, the Letter of Credit will be released, except for estimated cost of the final wear course. The Letter of Credit will be provided to the City upon execution of this Development Agreement. **The Letter of Credit must include this provision:**

In the event that the terms of the Development Agreement are not fulfilled, or in the event any special assessments remain owing against the Subject Property, this Letter of Credit shall be automatically extended at its expiration date on an annual basis unless at least sixty (60) days prior to expiration date we have notified the City of Sartell by certified mail that we elect not to extend this Letter of Credit. Upon receipt of said notice, the City of Sartell shall be entitled to draw at sight, by presentment of a draft or drafts prior to the date of expiration hereof, up to the full aggregate amount as set forth herein, less any reduction.

The City may draw on the Letter of Credit, without notice and at the Bank's branch office in or nearest to St. Cloud, Minnesota, at any time any term of this Development Agreement remains unfulfilled by Developer or if such letter of credit is not renewed as required sixty (60) days prior to end of the term. The City will have the right to enter upon the Subject Property to inspect work or complete all or a portion of the project as necessary. In the event the City does any such work, the City may, in addition to its other remedies, assess the cost in whole or in part.

The Developer will fully and faithfully comply with all the terms of any and all contracts entered into by the Developer for the installation and construction of all Improvements and hereby warrants and guarantees the workmanship and materials for a period of **one** ~~two~~ years following the City's final acceptance of the Improvements. The Developer will provide a financial guarantee in the amount of 10% of the above Letter of Credit until the successful completion of such warranty period. If any claims are made in writing within the warranty period, the warranty period financial guarantee will not be released until such claims are resolved.

Completion Timeline. The work the Developer is to perform under this Agreement must be done and performed by Developer in a good and workmanlike manner and completed on or before the following dates: site mass (including building pads) grading (prior to the release of a building permit) and no later than September 2015; utilities, street lights, signage, trails and sidewalks, and street bituminous base November 2015, second street bituminous wear July 2016. The Developer may, however, request an extension of time from the City. If an extension

is granted, it shall be conditioned upon updating the security posted by the developer to reflect the cost increases and the extended completion date.

Private Utilities. All private utilities (e.g. electric, telephone, cable and gas) must be installed within a common area at the Developer's expense. Developer is responsible for contacting utility companies for service to the Development Property. Developer is also responsible for any cost incurred in the installation of such utilities.

Street Signs. The City will install street identification signs according to City standards and the Developer is responsible for all costs incurred for such sign installation and will be billed according to the City's fee schedule in effect at the time of such sign installation.

Street Lights. It is the responsibility of the Developer to include a street lighting plan prepared by the City's street lighting utility company in the Plans submitted for City approval and, upon approval, to have the street lights installed (by the contractor or utility company approved by the City in the City's sole discretion) at the Developer's expense. The Developer is required to utilize the City approved street light standards unless the Developer receives prior City approval to vary the light standards.

Hard Surfaced Driveways. Hard surfaced driveways and concrete aprons are a requirement for each residential lot in the Plat and must be installed prior to the Certificate of Occupancy being issued or as soon thereafter as possible, weather permitting.

City Approval. The City reserves the right to delay the bituminous wear paving if conditions warrant the delay. All work will be subject to the inspection and approval of the City and/or a duly authorized engineer of the City. Any unacceptable work will be corrected at the sole cost and expense of the Developer, to the satisfaction and approval of the City.

Right to Proceed. Within the Plat, the Developer may not grade or otherwise disturb the earth, remove trees, construct sewer lines, water lines, streets, utilities, public or private improvements, or any buildings until all the following conditions have been satisfied: (a) this Agreement has been fully executed by both parties and filed with the County, and (b) the City has issued a letter that all conditions required to commence the Improvements have been satisfied and that the Developer may proceed.

ADDITIONAL CONDITIONS OF APPROVAL

The Developer shall also comply with the following conditions:

- A. **RESIDENTIAL:** That all residential lots in the Plat will have a maximum of one hard surfaced driveway and concrete apron. That the Developer will be required to obtain a NPDES Phase II (Construction Site) permit from the MPCA.
- B. That all comments by the City engineering, police, and/or fire departments attached hereto as **Exhibit B** must be resolved to the satisfaction of the City to be evidenced by written notice to proceed issued by the City.

- C. That the all homes shall be constructed as proposed on the approved grading plan. Any deviation from the grading plan will result in the need to submit a new grading plan for review. There will be no exceptions.
- D. That sidewalks and trails, and lights be installed at the time of roadway and utility installation.

ENGINEERING

Plans and Specifications. All plans and specifications for the Improvements must be prepared, and all work related thereto inspected, by the City Engineer, with all costs related thereto paid by the Developer as outlined below.

Security. The **Letter of Credit** <\$ __, __.00> required to secure developer's obligations under this Agreement will be used to secure reimbursement of all costs incurred by the City including, but not limited to, engineering fees, inspections, legal fees, cost of acquisition of any necessary easements if any, and any other costs incurred by the City relating to the Improvements (including the preparation of this Agreement). Such Letter of Credit will be drawn upon if such charges are not paid within 30 days of invoice to Developer. City expenses exceeding this amount will be invoiced to the Developer, who will pay said costs within 30 days of invoice. If the bills are not paid on time, the City may halt all development work until the bills are paid in full.

DEDICATION

Developer will dedicate to the City, after their completion, all water and sewer mains, lift stations, water hydrants, storm sewer mains, storm sewer, stormwater ponds, pedestrian trails, roadways, street lights, sidewalks, and other structures located in the right-of-ways in the Plat shown in the Plans. Developer will provide to the City any and all necessary easements and/or dedications or deeding to ensure that the City has the ability to maintain, repair, replace or modify the roadways, trails, sewer and water mains, storm sewers, holding and sedimentation ponds and other public improvements located in the Plat.

PONDS AND STORMWATER PIPES

Cleaning of Ponds. At such time as the City determines that construction on the Subject Property has been sufficiently completed so as not to cause significant erosion which will contaminate the holding ponds servicing the Subject Property, the Developer will clean/dredge all holding ponds and storm water pipes on the Subject Property. In the event the ponds require cleaning/dredging prior to the completion of all such construction, the City may request that the Developer complete more than one cleaning of the holding ponds. Developer is responsible for all permits relating to cleaning and dredging of ponds and pipes, including permits required by the Department of Natural Resources and the Army Corps of Engineers.

Buffer Area Adjacent to Ponds. All ponds servicing the Subject Property, whether such ponds are located on City owned property, easements running in favor of the City, or on private

property, must maintain a minimum of an 8' natural buffer from the high water mark. Notwithstanding the above, one access to each pond may be required by the City in a location determined by the City in its sole discretion.

EROSION AND LANDSCAPING

Erosion Control. The Developer will be responsible for the implementation and maintenance of development-wide erosion control measures. The Developer is hereby required to make application for a MPCA General Storm Water Permit for Construction Activity, Form #MNR 100001. This permit and its associated requirements shall remain in effect until **all** building sites within the Subdivision have been developed. The Developer will also comply with any erosion control method ordered by the City for the prevention of damage to adjacent property and the control of surface water runoff. As the development progresses, the City may impose additional erosion control requirements if, in the opinion of the City Engineer, such requirements are necessary to retain soil and prevent siltation of streams, ponds, lakes, or other adjacent properties, or of City utility systems. The Developer will comply with the erosion control plans and with any such additional instruction it receives from the City. The Developer shall properly clear any soil, earth or debris on City owned property, or public right of way resulting from construction work by the Developer or Builder, its agents or assigns. Failure to clean the site within 7 days will result in the City hiring out or performing the clean up and billing the Developer and its assigns the cost plus 15%. The Developer will cause to be performed to the City Engineer's satisfaction all finish grading, and will establish turf in all swales and ditches and will maintain said grading, swales, and ditches until the Improvements are completed and accepted by the City. All rear yard drainage swales will be final graded and restored with erosion control fabric. All areas disturbed by excavation and backfilling operations will be reseeded immediately after the completion of the work in that area. Seed will be rye grass or other fast growing seed to provide a temporary ground cover as rapidly as possible. All seeded areas will be mulched and disc anchored as necessary for seed retention. The parties recognize that time is of the essence in controlling erosion. All swales and other drainage measures required by the Plans, grading plan, engineering reports and/or soil erosion control plan, as contained herein or as required by the City, shall not be disrupted, changed, or not maintained such that the swale or other drainage measures no longer function according to the original design. The City shall have the right at any time to enter upon the Subject Property so as to ensure surface water drainage as originally designed. The Developer agrees to reimburse the City for any costs incurred by the City as a result of such corrective action.

Hold Harmless Agreement. The Developer acknowledges that its failure to control erosion may cause flooding and/or damage to adjoining property owners. In such event, the Developer agrees to hold the City harmless and indemnify the City from claims of all third parties of the Developer for flooding and/or damages arising out of such failure. Further, in the event the City undertakes any corrective actions to prevent or minimize any such flooding and/or damage, the Developer agrees to hold the City harmless and indemnify the City from claims of all third parties for damages arising out of said corrective action by the City, and agrees to reimburse the City for all out of pocket expenses incurred by the City arising out of the corrective

action including, but not limited to any costs necessary to re-landscape disrupted soils located with the Plat.

Lot Maintenance. The Developer will maintain all lots and outlots in the Plat free of litter and debris. The Developer will mow all grass and weeds in excess of 10 inches in height on vacant lots and boulevards. Cut trees, tree stumps, or construction debris will be removed from the Plat. Burying or burning of trees or construction debris is not permitted on site.

CITY FEES

Area Charges. Trunk charges are to be paid prior to the recording of the final plat (based on 979,664.40 square feet or 22.49 acres). Storm trunks fees are credited with the dedication of the wetlands and storm ponds via easement which equates to 12.26 acres of credit).

Water Trunk - \$57,259.54

Sanitary Sewer Trunk - \$57,259.54

Storm Trunk – \$44,561.88

Total Trunk Fees for Phase 1 - \$159,080.42

Outlot A will be subject to future trunk fees.

Park Fees. The developer shall deposit **\$14,670.00** in park fees in lieu of dedication prior to the recording of the final plat.

SAC/WAC. The Developer acknowledges that sewer and water access charges will be payable at then current rates at the time building permits are pulled for construction on the Property. Developer agrees to make buyers and/or future tenants of the Property aware that such charges will be payable at any time permits are required, including initial building shell construction and at future tenant improvement build-out.

MISCELLANEOUS

Representations. The Developer represents that the Plat complies with all city, county, state, and federal laws and regulations, including but not limited to: subdivision ordinances, zoning ordinances, and environmental regulations and permits thereto related. If the City determines that the Plat does not comply, the City may refuse to allow construction or development work in the Plat until compliance is achieved.

Assignment. This Development Agreement cannot be assigned or transferred without the written consent of the City. A breach of the terms of this Agreement by the Developer, including the unauthorized assignment or transfer of the Agreement, will be grounds for denial of the issuance of any building permit.

Waivers. The rights of the City under this Agreement are in addition to any other rights under statute, ordinance or any other agreement. The action or inaction of the City will not

constitute a waiver or amendment under the provisions of this Agreement. To be binding, amendments or waivers will be in writing, signed by the parties and approved by the City Council. The City's failure to promptly take legal action to enforce this Agreement will not be a waiver or release. There is no intent to benefit any third parties and third parties will have no recourse against the City under this Agreement.

Reimbursement. The Developer will reimburse the City for all costs incurred by the City in the defense or enforcement of this Agreement, or any portion thereof, including court cost and reasonable engineering and attorneys' fees.

License to Enter Land. The Developer hereby grants the City, its agents, employees, officers and contractors a license to enter the Subject Property to perform all work and/or inspections deemed appropriate by the City during the development of the Subject Property.

Violation of This Agreement. If the Developer fails to perform any of the terms of this Agreement in the manner required by the City, the City shall be entitled to recover, from the Developer or the issuer of Developer's financial guarantee, the full amount of any and all financial guarantees. Breach of any of the terms of this Development Agreement by the Developer shall also be grounds for denial of Building or Occupancy Permits for buildings in the Plat.

Agreement Binding. The terms and provision hereof shall be binding upon, and inure to the benefit of the heirs, representatives, successors and assigns of the parties hereto and shall be binding upon all future owners of all or any part of the Subject Property and shall be deemed covenants running with the land.

Indemnification. The Developer will have no claim against the City and its officers and employees for damages sustained or costs incurred resulting from plat approval and development. The City and its officers, agents and employees will not be personally liable or responsible in any manner to the Developer, contractor or subcontractors, suppliers, laborers, or to any other person or persons whomsoever, for any claims, demands, damages, actions, or causes of action of any kind or character whatsoever arising out of or by reason of the execution of this Agreement, or the design, performance, and completion of the work and the improvements to be provided by Developer pursuant to this Agreement. The Developer will hold the City harmless from claims by third parties, including but not limited to other property owners, contractors, subcontractors and suppliers, for damages sustained or costs incurred resulting from plat approval and the development of the Property. The Developer agrees to indemnify, defend and hold harmless the City, its agents and employees from any claim, demand, suit, action or other proceeding whatsoever by any person for any loss or damage to property or any injury to or death of any person resulting from any actions by the Developer, or its agents or contractors.

Insurance. Until all of Developer's obligations under this Agreement are fulfilled, the Developer will provide and maintain public liability and property damage insurance covering personal injury, including death, and claims for property damage which may arise. Limits for

bodily injury or death will not be less than \$500,000 for one person and \$1,500,000 for each occurrence. Limits for property damage will not be less than \$500,000 for each occurrence. The City will be named as an additional named insured on said policy and the policy shall provide that it may not be cancelled without 30 day prior written notice to the City. The Developer will file a copy of the insurance coverage with the City upon execution of this Agreement. The insurance policy obtained by the Developer is subject to City approval. In the event that the City is held liable to a third party by a court of competent jurisdiction for damages and the insurance obtained by Developer for any reason fails to cover the City, the Developer will be liable under this Agreement for any and all costs incurred or damages claimed against the City.

Certificate of Occupancy. The City will not issue certificates of occupancy for any building within the Development until the building has been connected to sanitary sewer and water, complied with the grading and site plans, a tree has been planted in the front yard of each home, and the streets in the Development have been constructed to the point of having a bituminous base course.

Incorporation by Reference. All plans, special provisions, proposals, specifications and contracts for the Improvements to be made pursuant to this Agreement shall be and hereby are made a part of this Agreement by reference as fully as if set forth herein in full.

Invalidity of Any Section. If any portion, section, subsection, sentence, clause, paragraph or phase of this Agreement is for any reason held to be invalid by a court of competent jurisdiction, such decision shall not effect or void any of the other provisions of this Agreement.

DEFAULT ON AGREEMENT

Events of Default. The following shall be "Events of Default" under this Agreement and the term "events of default" shall mean, whenever it is used in this Agreement (unless the context otherwise provides) any one or more of the following events:

- A. Failure by the Developer to observe and substantially perform any covenant, condition, obligation, or agreement on its part to be observed or performed hereunder, including providing security or renewal of security as provided in this Agreement.
- B. If the Developer shall admit in writing its inability to pay its debts, generally as they become due, or shall file a petition in bankruptcy, or shall make an assignment for the benefit of its creditors, or shall consent to the appointment of a receiver of itself or of the whole or any substantial part of the Subject Property.
- C. If the Developer does not pay the assessments due on the property.

If the Developer fails to cure the Event of Default within ten (10) days of the date of notice sent to Developer by regular first class U.S. mail, Developer agrees that the City is hereby granted the right and privilege to declare any amounts expended by the City then due and payable as liquidated damages in full, and the City may immediately bring legal action against the Developer to collect such sums expended by the City; the Developer shall be personally responsible for payment of such sums; in addition, the City shall have a lien against the Subject

Property. In addition to any other remedy provided in this Agreement, and without waiver of any such right, the City may avail itself of any or all of the following remedies:

1. Halt all Plat development work and construction of Improvements.
2. Refuse to issue building permits or occupancy permits as to any parcel until such time as the Event of Default is cured.
3. Apply to a court of competent jurisdiction to enjoin continuation of the Event of Default.
4. Terminate this Agreement by written notice to the Developer.

Addresses. The address of the Developer for the purposes of this Development Agreement is:

Sartell Development LLC
PO Box 262
Sartell, MN 56377

The address of the City for the purposes of this Development Agreement is:

City of Sartell
125 Pine Cone Road North
PO Box 140
Sartell, MN 56377

**EXHIBIT A
LEGAL DESCRIPTION**

PINs:

LEGAL DESCRIPTION PER TITLE COMMITMENT:

Parcel 1:

Outlots C, D and E, Cougar Place, Stearns County, Minnesota

Parcel 2:

The North Half of the Southwest Quarter (N 1/2 SW 1/4) less and except the South 317.00 feet thereof, in Section Seventeen (17), Township One Hundred Twenty-five (125), Range Twenty-eight (28), Stearns County, Minnesota.

EXHIBIT B

CITY DEPARTMENT COMMENTS

1. A development sign may be allowed as so long as it is constructed according to city ordinances (size) and materials.
2. Prior to the issuance of a certificate of occupancy, each lot will be required to plant one tree in the front yard based on the City Standards.
3. All of the proposed lots, driveway entrances, housing types and elevations shall be constructed as proposed. If there is a desire to deviate substantially during the building permit process, the builder/developer will be responsible for obtaining a new grading plan approval from the City (along with application/fees).
4. Wetland delineation sign, per city code, shall be installed prior to the release of any building permits.
5. This development is subject to trunk storm, water and sewer fees and park as dictated in the Development Agreement. The outlots will be subject to future trunk fees and dedication requirements.
6. Approval is contingent on TEP/WCA application request
7. Temporary easement needed for the temporary (bituminous only) emergency turnaround (per Fire Code) at the end of Providence Drive prior to the release of the plat for recording. Temporary hydrant is also required at the end of the emergency turnaround.
8. Lot standards-
Setbacks – Front 25, side yard 10', corner side/street side 25', rear 30'
Wetland Setbacks – wetlands less than 5 acres (30 feet from delineation line). Wetlands greater than 5 acres (40 feet from the delineation line).
Height Proposed – 40 feet.
Average width – 75'
Min Street lot width – 50'

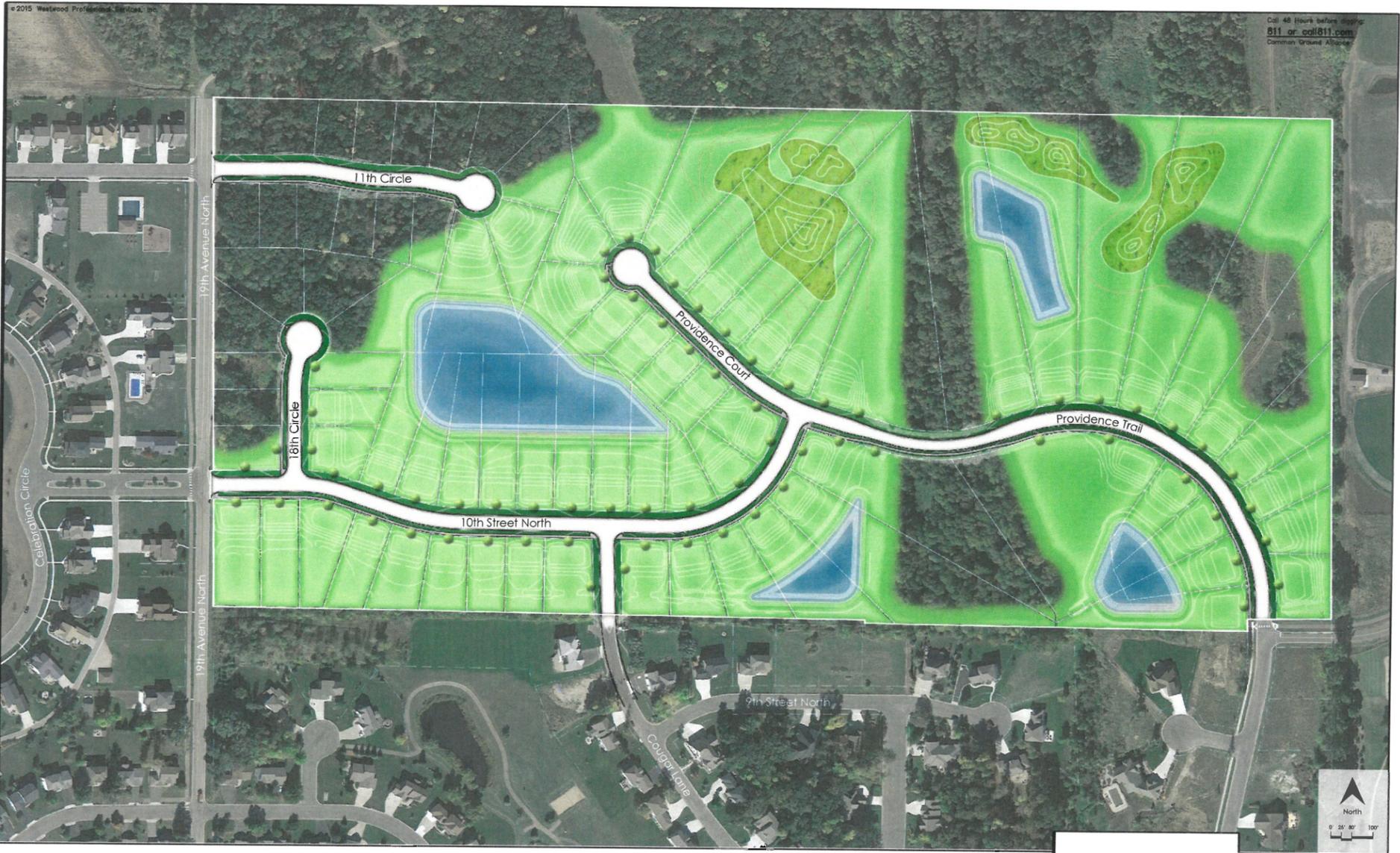


Selected Collector System

Prepared by:

WSB
 & Associates, Inc.
 701 Xenia Avenue South, Suite 300
 Minneapolis, MN 55416
 www.wsb.org.com
 763-541-4838 Fax 763-541-1000
 INFRASTRUCTURE • ENGINEERING • PLANNING • CONSTRUCTION

Figure 6



Westwood
 Phone: (202) 851-6400 3211 19th Street North, Suite 200
 Fax: (202) 851-6700 11 Clarks Hill Road
 Toll Free: (800) 570-9300 Westwood.com
 Westwood Professional Services, Inc.

I hereby certify that this plan was prepared by me or under my
 direct supervision and that I am a duly Licensed PROFESSIONAL
 ENGINEER under the laws of the State of Minnesota.

Robert J. Olson
 Date: 06/05/15 License No. 45023

Revised:	Drawn:	Checked:	ESD
07/07/15 - revised Site Plan			
			ESD
			JM
			ESD

Prepared for: **Sartell Development, LLC**
 101 7th Street North
 Sartell, MN 56377

Providence
 Sartell, MN

Site Plan

Preliminary Plans

for
Site, Preliminary Plat, Sanitary Sewer, Water Main, Storm Sewer, Erosion Control and Grading
 for
Providence
 Sartell, MN

Prepared for:
Sartell Development, LLC
 101 7th Street North
 Sartell, MN 56377
 Contact: Steve Legatt or Steve Noble
 Phone: 320-230-1500 or 320-333-9811

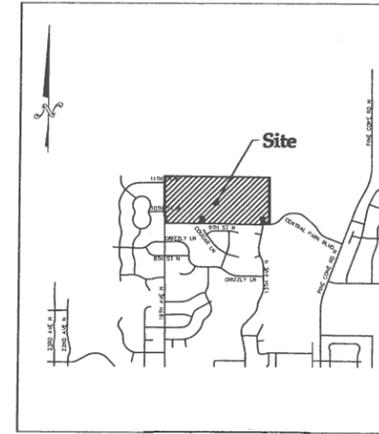
Prepared by:
Westwood

Phone (320) 233-8688 3701 12th Street North, Suite 200
 Fax (320) 233-8727 St. Cloud, MN 56301
 Toll Free (800) 270-9495 westwoodps.com

Westwood Professional Services, Inc.
 Project number: 0001436.01
 Contact: Robert J. Olson

Sheet List Table	
SHEET NUMBER	SHEET TITLE
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	PRELIMINARY PLAT
4	SITE PLAN
5	PHASING PLAN
6	OVERALL GRADING PLAN
7	GRADING PLAN
8	GRADING PLAN
9	GRADING PLAN
10	GRADING PLAN
11	WETLAND ENHANCEMENT PLAN
12	EROSION CONTROL PLAN
13	SANITARY SEWER AND WATERMAIN PLAN
14	STORM SEWER PLAN

Vicinity Map



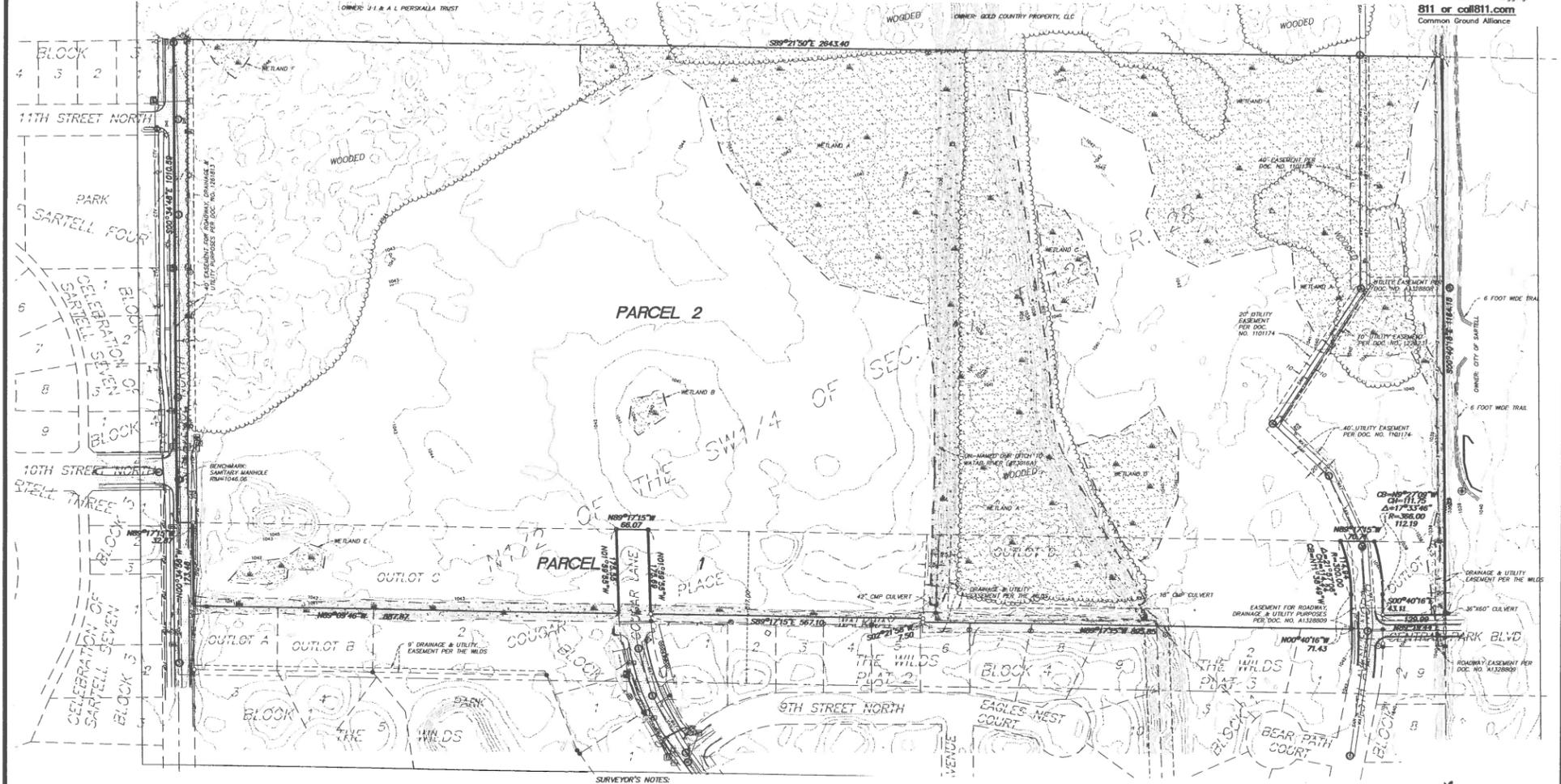
(Not to Scale)

NO.	DATE	REVISION	SHEETS
1	06/05/15	REVISED SITE PLAN	ALL
2	06/24/15	REVISED PER CITY COMMENTS	ALL
3	06/30/15	REVISED PER SITE PLAN	ALL

Preliminary Plans

for
Site, Preliminary Plat, Sanitary Sewer, Water Main, Storm Sewer, Erosion Control and Grading
 for
Providence
 Sartell, MN

Date: 05/11/15 Sheet: 1 of 14



LEGEND

- ▲ WETLAND
- STEEL/WOOD POST
- SIGN-TRAFFIC/OTHER
- ⊕ GATE VALVE
- HYDRANT
- ⊙ SANITARY MANHOLE
- SANITARY SEWER
- WATERMAIN
- DECIDUOUS TREE LINE
- CURB & GUTTER
- ▨ BITUMINOUS SURFACE
- ▨ GRAVEL SURFACE

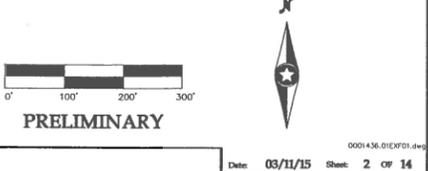
LEGAL DESCRIPTION PER TITLE COMMITMENT:

Parcel 1:
Outlots C, D and E, Cougar Place, Stearns County, Minnesota

Parcel 2:
The North Half of the Southwest Quarter (N 1/2 SW 1/4) less and except the South 317.00 feet thereof, in Section Seventeen (17), Township One Hundred Twenty-five (125), Range Twenty-eight (28), Stearns County, Minnesota.

SURVEYOR'S NOTES:

- This survey was prepared using the Title Commitment provided by Stearns County Abstract & Title Co. as survey agent for Old Republic National Title Insurance Company, File No. 1581051, having an effective date of February 18, 2015 at 8:00 a.m.
- Contours shown are based upon NAVD 88 elevation datum used from a survey done in 2010.
- Bearings shown are based on the Stearns County Coordinate System.
- The subject property is abstract and contains 72.62 acres of land.
- Property is subject to Exceptions listed in Schedule B - Part 8 of Title Commitment provided by Stearns Abstract and Title Company, File No. 1581051. Numbered items below correspond with the items listed in said Title Commitment.
- Drainage and utility easements as shown on the plat of The Wilds, The Wilds Plat 2 and Cougar Place. (AS SHOWN)
- Permanent Utility Easement recorded February 16, 2004, as Document No. 1101174. (AS SHOWN)
- Permanent Roadway, Drainage and Utility Easement Agreement recorded November 2, 2010, as Document No. A1328808. (AS SHOWN)
- Final Development Agreement recorded April 1, 2011, as Document No. A1346063. UNEXPIRED.
- Permanent Utility Easement recorded April 23, 2007, as Document No. 1225231. (AS SHOWN)
- Permanent Roadway, Drainage, and Utility Easement and Temporary Construction Easement Agreement recorded June 25, 2008, as Document No. 1281613. (AS SHOWN)
- Permanent Drainage and Utility Easement Agreement recorded November 2, 2010, as Document No. A1328808. (AS SHOWN)



Westwood
 Phone (800) 258-8485 8751 12th Street North, Suite 200
 Eau Claire, WI 54601
 Fax (800) 270-8485 westwood@ps.com
 Westwood Professional Services, Inc.

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL SURVEYOR under the laws of the State of Minnesota.

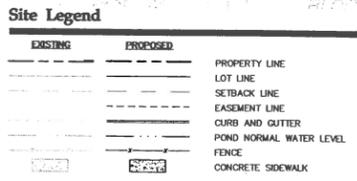
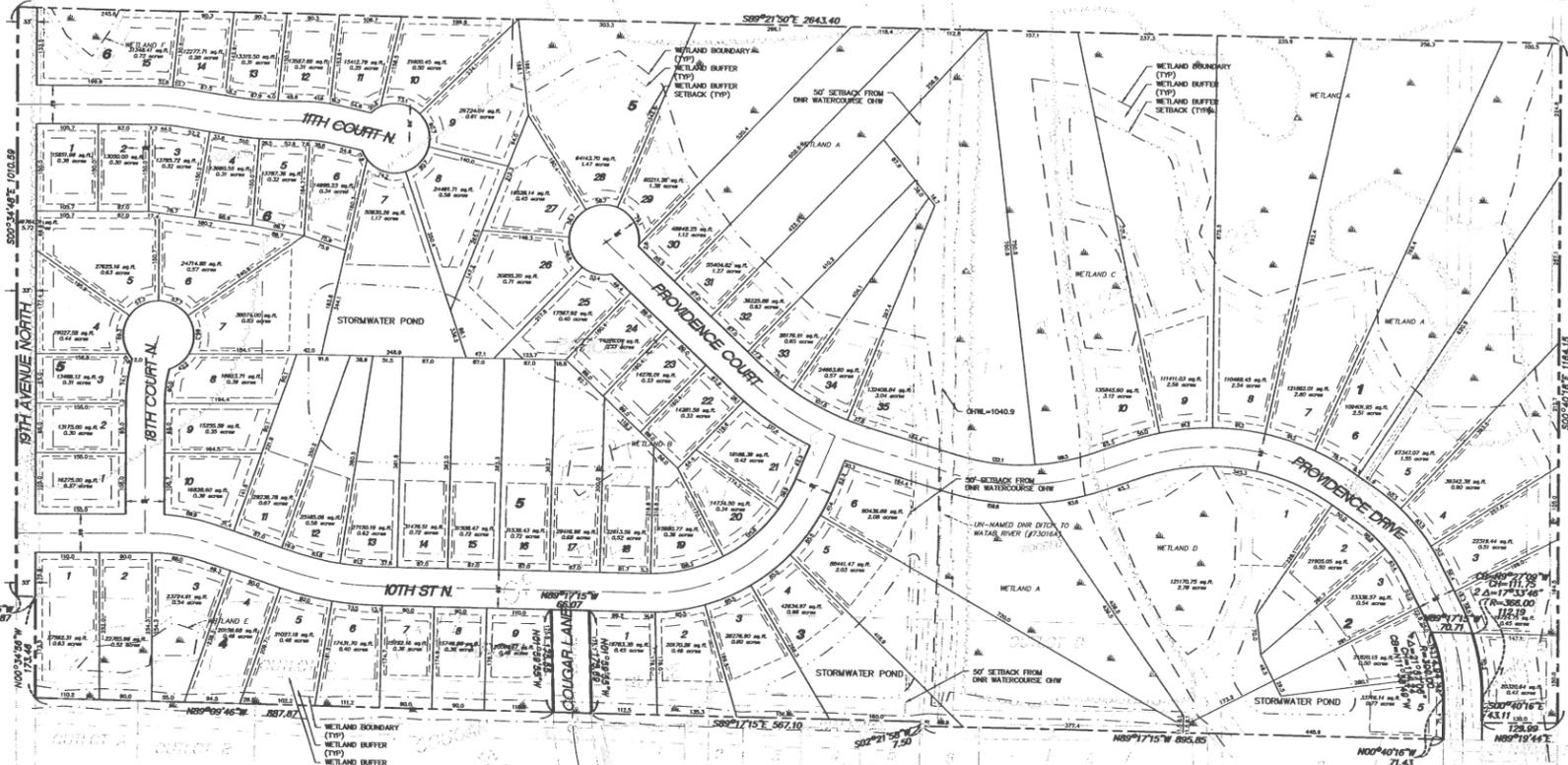
Robert J. Olson
 Date 06/30/15 License No. 451023

Checked	DATE
06/30/15 - Revised Site Plan	
06/30/15 - Revised per City Comments	
06/30/15 - Revised per Site Plan	
Drawn	DATE
Revised Drawing by/Date	

Prepared for
Sartell Development, LLC
 101 7th Street North
 Sartell, MN 56377

PROVIDENCE
 Sartell, MN

Existing Conditions Plan
 Date: 03/11/15 Sheet: 2 OF 14

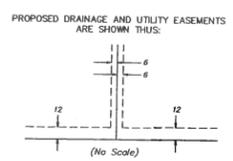


Site Development Summary

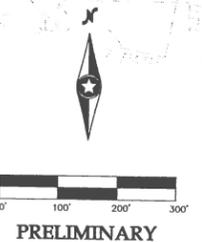
• EXISTING ZONING:	R-1, SINGLE-FAMILY
• PROPOSED ZONING:	PUD, SINGLE-FAMILY
• PROPERTY AREA:	72.62 AC
• LOTS: WEST	65
• LOTS: EAST	80
• LOTS: TOTAL	145
• BUILDING SETBACKS:	25' FRONT 10' SIDE 25' CORNER 30' REAR
• MAXIMUM BUILDING HEIGHT:	40'

Lot Summary

• MINIMUM LOT AREA:	12,278 SQ. FT. OR 0.28 ACRES
• MAXIMUM LOT AREA:	135,846 SQ. FT. OR 3.12 ACRES
• AVERAGE LOT AREA:	34,980 SQ. FT. OR 0.80 ACRES



BEING 6 FEET IN WIDTH, UNLESS OTHERWISE INDICATED, AND ADJOINING LOT LINES, AND 12 FEET IN WIDTH AND ADJOINING RIGHT-OF-WAY LINES AS SHOWN.



Westwood
 Phone: (202) 238-8485 8701 17th Street North, Suite 200
 Fax: (202) 238-8717 16 Cloud Hill Road
 Toll Free: (800) 975-9495
 WestwoodProfessional.com
 Westwood Professional Services, Inc.

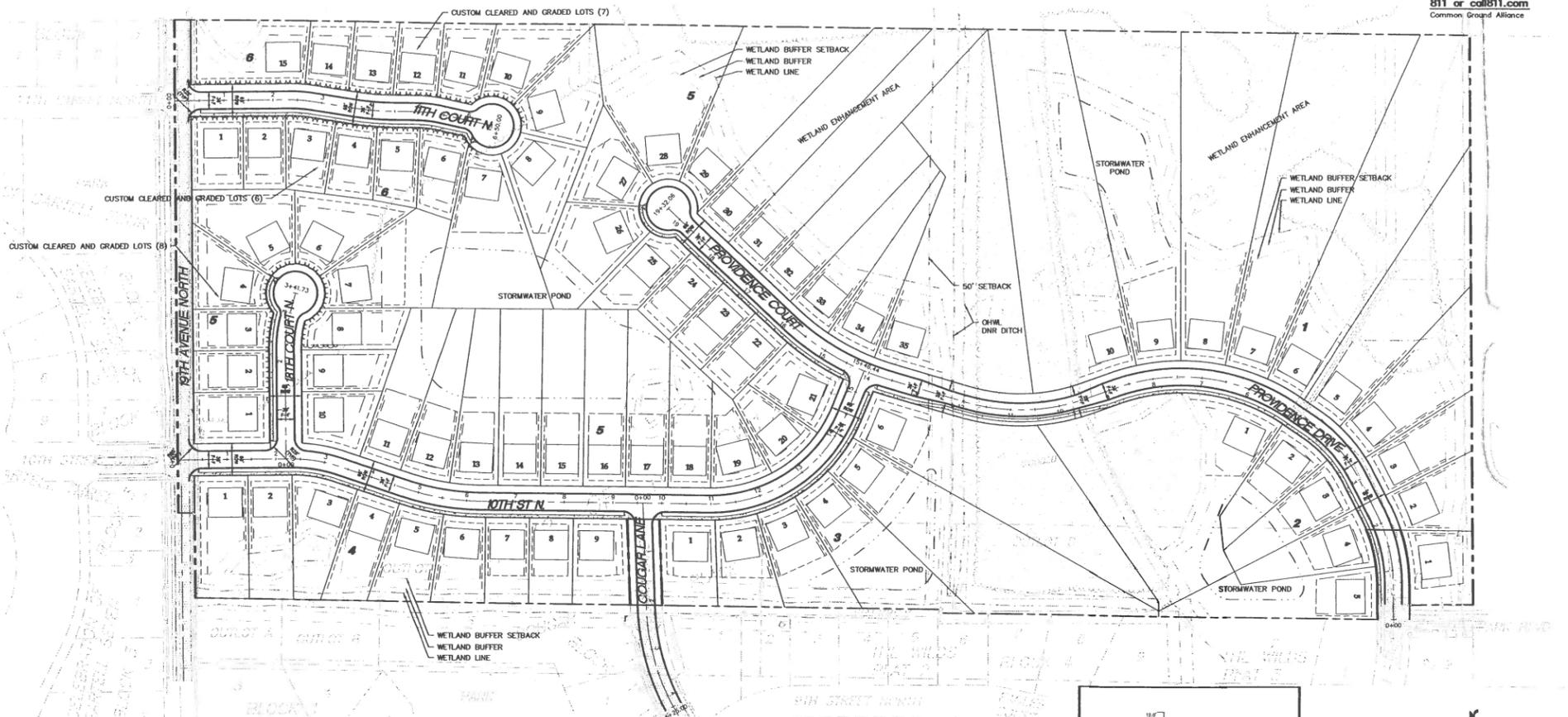
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.

Drawn by: _____
 Checked by: _____
 Date: 06/30/15 License No. 45023

Prepared for:
Sartell Development, LLC
 331 7th Street North
 Sartell, MN 56277

Providence
 Sartell, MN

Date: 03/11/15 Sheet: 3 OF 14
 Preliminary Plat



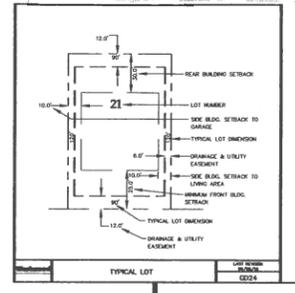
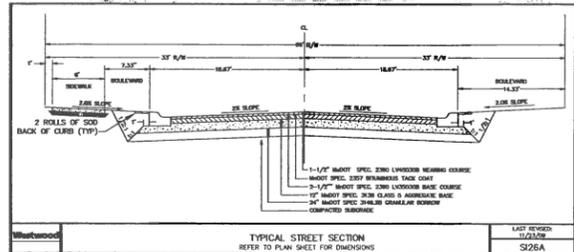
Site Legend

EXISTING	PROPOSED
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PROPERTY LINE
 LOT LINE
 SETBACK LINE
 EASEMENT LINE
 CURB AND GUTTER
 POND NORMAL WATER LEVEL
 FENCE
 CONCRETE SIDEWALK

Site Development Summary

- EXISTING ZONING: R-1, SINGLE-FAMILY
- PROPOSED ZONING: PUD, SINGLE-FAMILY
- PROPERTY AREA: 72.62 AC
- LOTS: WEST 65, EAST 16, TOTAL 80
- BUILDING SETBACKS: 25' FRONT, 10' SIDE, 25' CORNER, 30' REAR
- MAXIMUM BUILDING HEIGHT: 40'



PRELIMINARY
 Date: 03/11/15 Sheet: 4 OF 14

Westwood
 1200 15th Street North, Suite 200
 St. Cloud, MN 56303
 Phone: (820) 253-4400
 Fax: (820) 253-4277
 Email: westwood@westwood.com
 Website: www.westwood.com

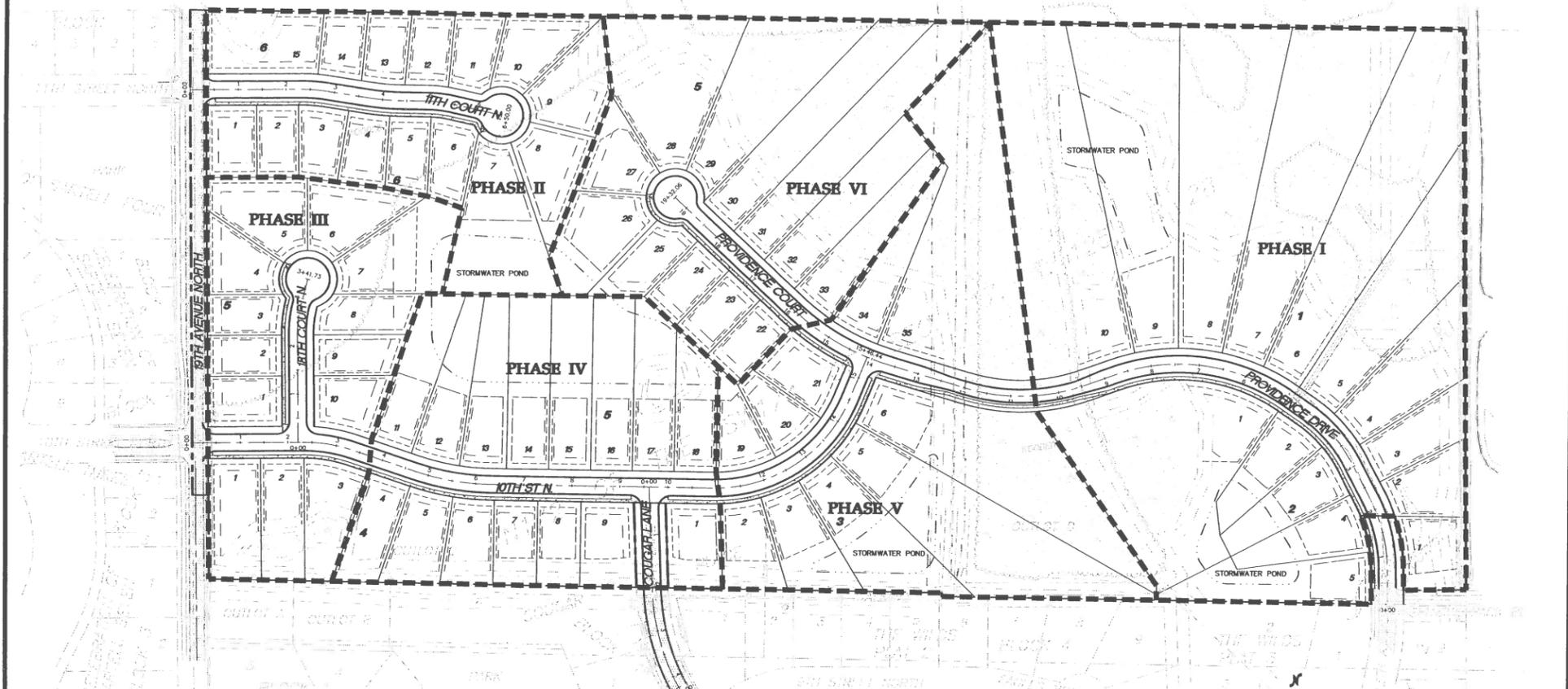
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.
 Robert J. Olson
 Date: 06/30/15 License No. 49023

Designed by: RSD
 Checked by: RSD
 Drawn by: RSD
 Detail Drawing by: RSD

Prepared for: **Sartell Development, LLC**
 801 7th Street North
 Sartell, MN 56377

Providence
 Sartell, MN

Site Plan



Site Legend

EXISTING	PROPOSED
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Site Development Summary

- EXISTING ZONING: R-1, SINGLE-FAMILY
- PROPOSED ZONING: PUD, SINGLE-FAMILY
- PROPERTY AREA: 72.62 AC
- LOTS: WEST 65, EAST 15, TOTAL 80
- BUILDING SETBACKS: 25' FRONT, 10' SIDE, 25' CORNER, 30' REAR
- MAXIMUM BUILDING HEIGHT: 40'

Phasing Summary

PHASE	LOTS	TIMELINE
I	15	2015-2017
II	15	2017-2019
III	13	2019-2021
IV	15	2021-2023
V	10	2023-2025
VI	12	2025-2027



PRELIMINARY

Providence

Sartell, MN

Date: 03/11/15 Sheet: 5 OF 14

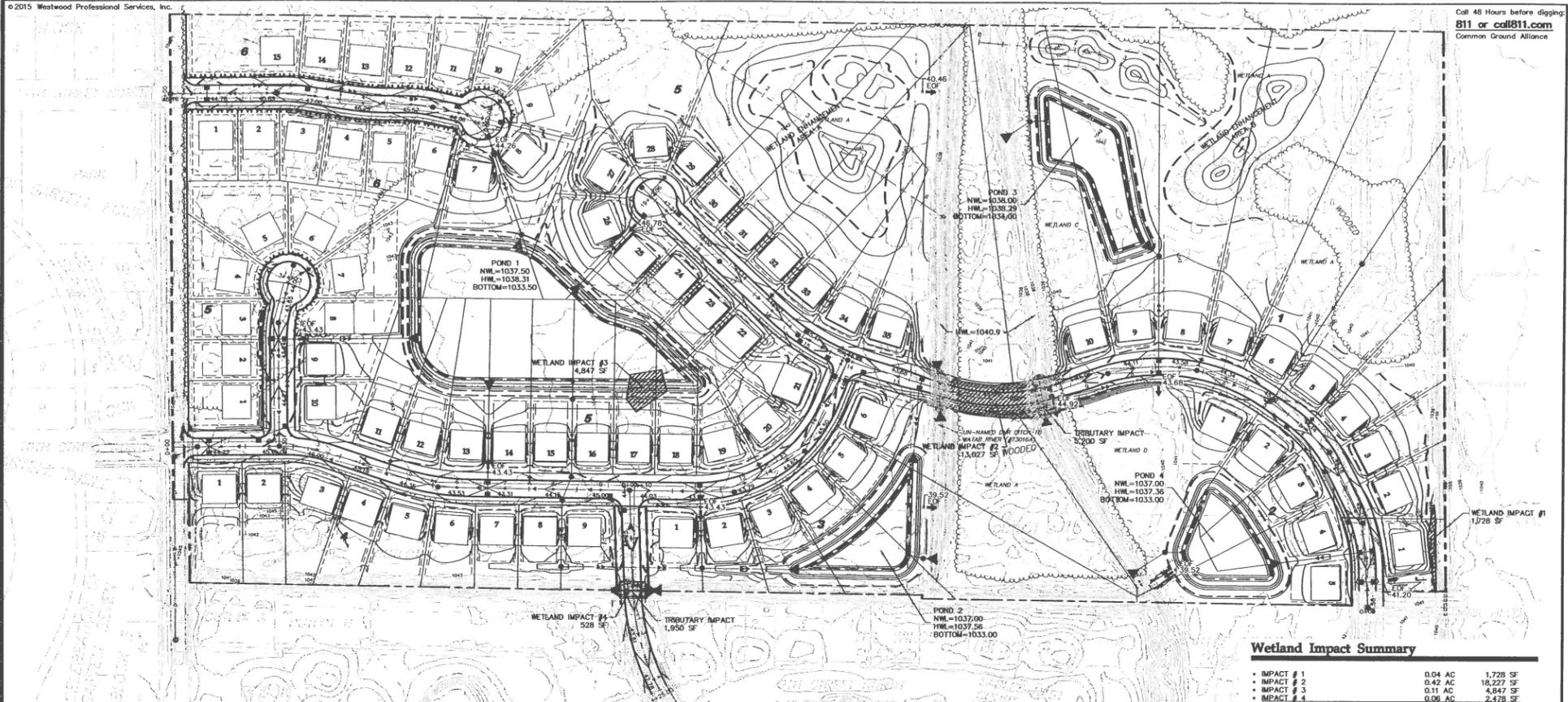
Westwood
 Phone: (202) 253-8405 3701 17th Street North, Suite 206
 Fax: (202) 253-8191 16, Clarks, MD 20623
 Toll Free: (800) 275-8405 westwoodps.com
 Westwood Professional Services, Inc.

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.
 Robert J. Olson
 Date: 06/20/15 License No. 49023

Submittal:
 02/25/15 - Revised Site Plan
 02/25/15 - Revised per City Comments
 02/25/15 - Revised per Site Plan

Designed: RJO
 Checked: RJO
 Drawn: RJO
 Record Drawing: RJO/MS

Prepared for:
Sartell Development, LLC
 101 7th Street North
 Sartell, MN 56377



Wetland Impact Summary

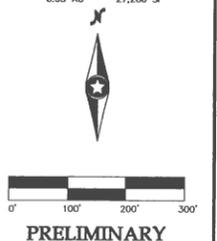
• IMPACT # 1	0.04 AC	1,728 SF
• IMPACT # 2	0.42 AC	18,227 SF
• IMPACT # 3	0.11 AC	4,847 SF
• IMPACT # 4	0.06 AC	2,478 SF
• TOTAL	0.63 AC	27,280 SF

Grading Legend

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	---	INDEX CONTOUR
---	---	INTERVAL CONTOUR
---	---	CURB AND GUTTER
---	---	POND NORMAL WATER LEVEL
---	---	SILT FENCE
---	---	STORM SEWER
---	---	FLARED END SECTION (WITH RFRAP)
---	---	WATER MAIN
---	---	SANITARY SEWER
---	---	DRAIN TILE
---	---	SPOT ELEVATION
---	---	FLOW DIRECTION
---	---	EMERGENCY OVERFLOW
---	---	E.O.F.
---	---	B.S.O.F.
---	---	SOIL BORING LOCATION

Grading Notes

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVEMENT, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNSPUTS.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND SOO OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING AND TURF ESTABLISHMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
- CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.
- SEE SOILS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.
- CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
- CONTRACTOR SHALL PROVIDE A STRUCTURAL RETAINING WALL DESIGN CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL, AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH FULLY-LOADED TANDUM-AXLE DUMP TRUCK OR APPROVED EQUIVAL IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RECOMPACTED AS SPECIFIED HEREIN.
- EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MNDOT 2105.3P1 AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE ORDINARY COMPACTION METHOD AS OUTLINED IN MNDOT 2105.3P2.
- ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSATURABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.



PRELIMINARY

Date: 03/11/15 Sheet: 6 OF 14

Westwood
 Phone: (202) 233-8490 3701 17th Street North, Suite 206
 Fax: (202) 233-8737 St. Cloud, MN 56301
 Toll Free: (800) 275-8495 westwoodps.com
 Westwood Professional Services, Inc.

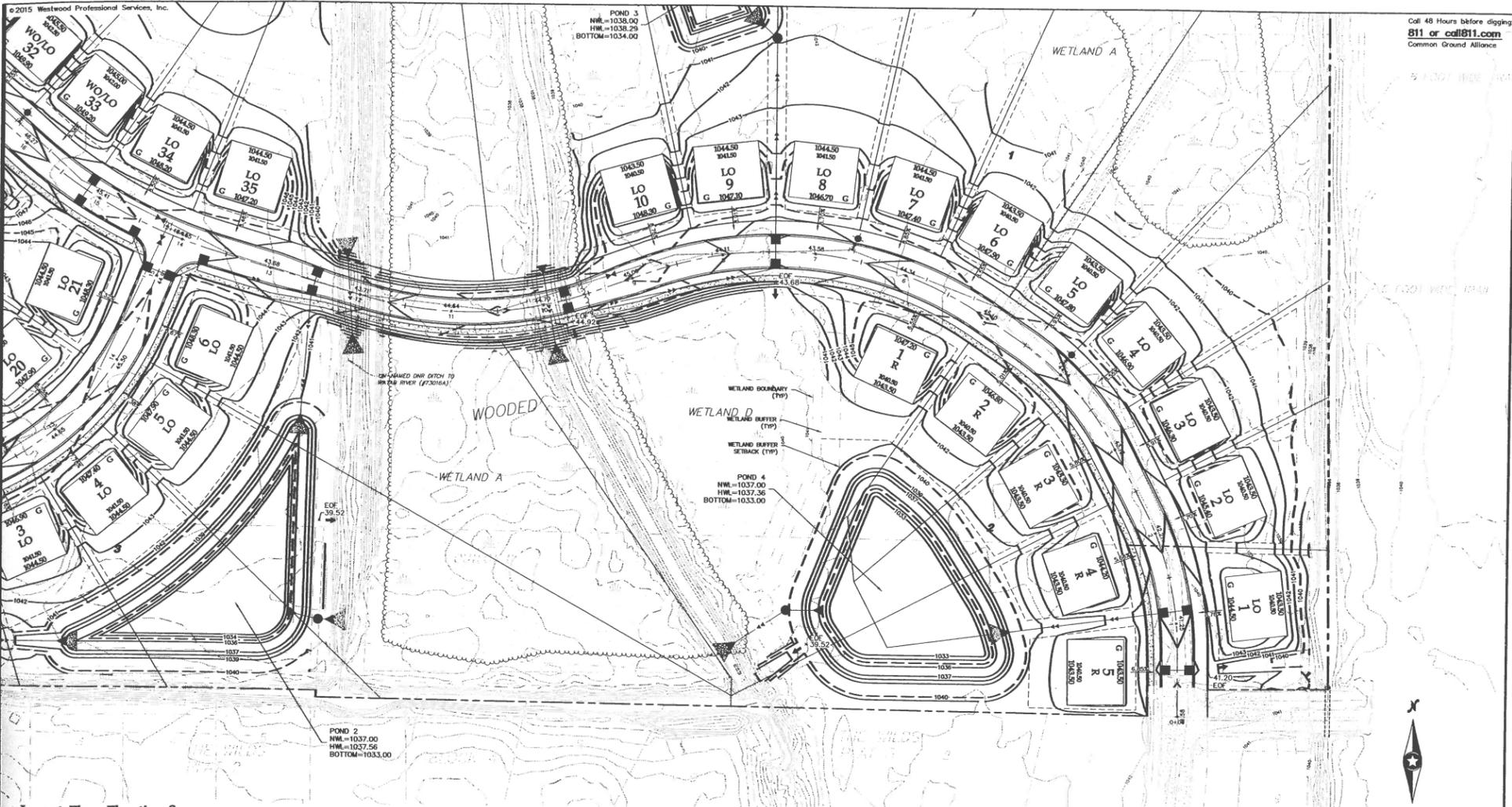
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.
 Signature: _____
 Date: 06/20/15 License No. 43023

Checked: _____
 Drawn: _____
 Revised Drawing by/Date: _____

Prepared for:
Sartell Development, LLC
 301 7th Street North
 Sartell, MN 56307

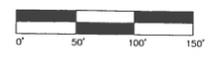
Providence
 Sartell, MN

Overall Grading Plan



Lowest Floor Elevation Summary

• LOTS EAST OF DNR DITCH	LFE=1039.50
• LOTS WEST OF DNR DITCH	LFE=1040.50



PRELIMINARY

0001436.0102022.dwg

Date: 03/11/15 Sheet: 7 OF 14

Westwood
 Phone: (202) 253-6666 3711 17th Street North, Suite 206
 Fax: (202) 253-8770 St. Cloud, MN 56301
 Toll Free: (800) 270-6666 westwoodps.com
 Westwood Professional Services, Inc.

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER in the State of Minnesota.

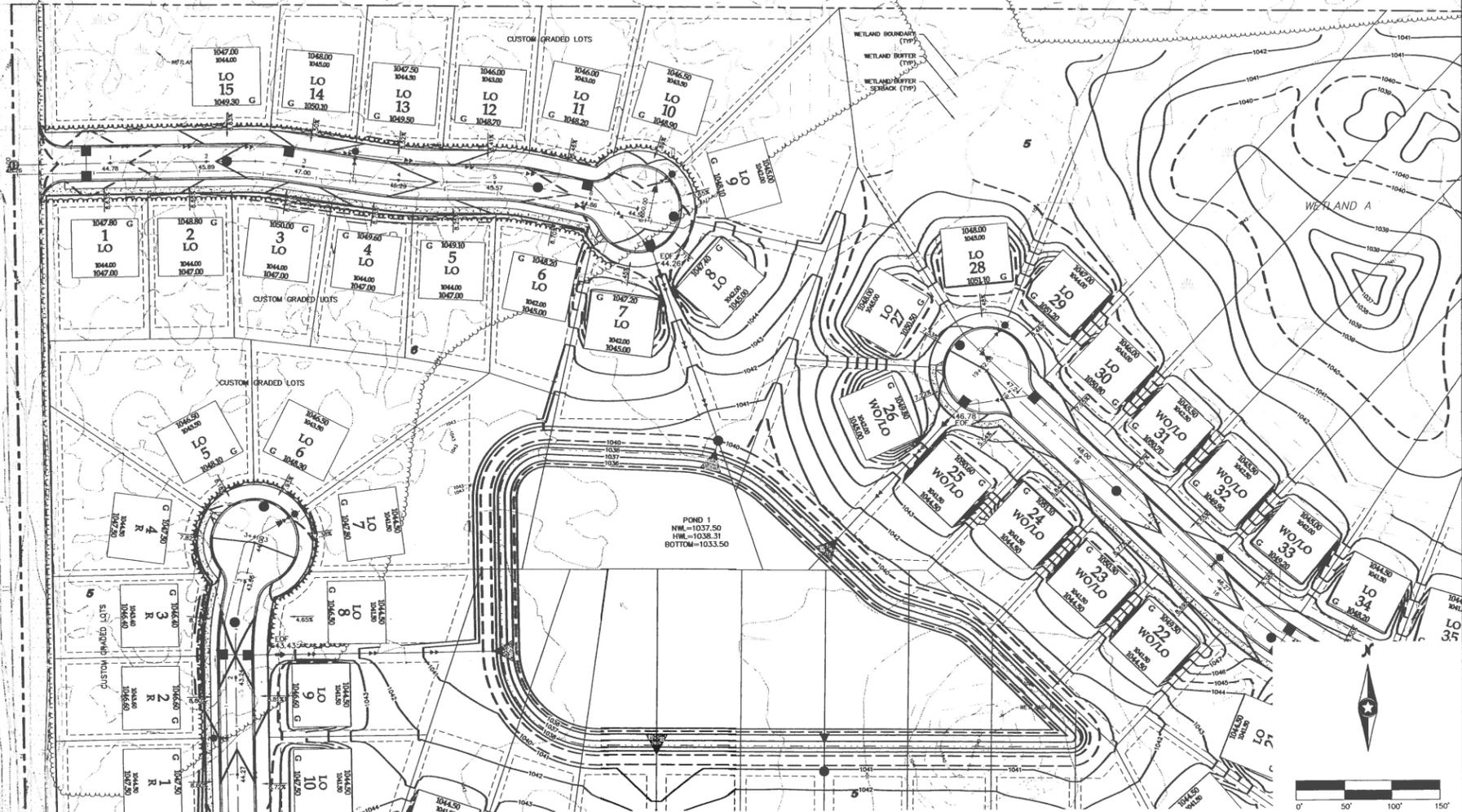
Robert J. Olson
 Date: 06/30/15 License No. 450223

Revised:	By:	Check:	Date:
06/25/15	Robert J. Olson	RSO	
06/25/15	Robert J. Olson	RSO	
06/25/15	Robert J. Olson	RSO	

Prepared for: **Sartell Development, LLC**
 101 7th Street North
 Sartell, MN 56377

Providence
 Sartell, MN

Grading Plan



Lowest Floor Elevation Summary

- LOTS EAST OF DNR DITCH LFE=1039.50
- LOTS WEST OF DNR DITCH LFE=1040.50

PRELIMINARY

0001436.DWG(7/2,4)

Date: 03/11/15 Sheet: 9 OF 14

Westwood

Phone (202) 253-8495 3701 17th Street North, Suite 206
 Fax (202) 253-8177 St. Cloud, MN 56303
 Toll Free (800) 270-8495 westwood.com

I hereby certify that the plan was prepared by me or under my direct supervision and that I am a duly licensed professional engineer.
 Signature: Robert J. Olson
 Title: 06/30/15 License No. 45023

Designed	BY:
Checked	BY:
Drawn	BY:
Revised Drawing	BY/DATE:

Prepared for:

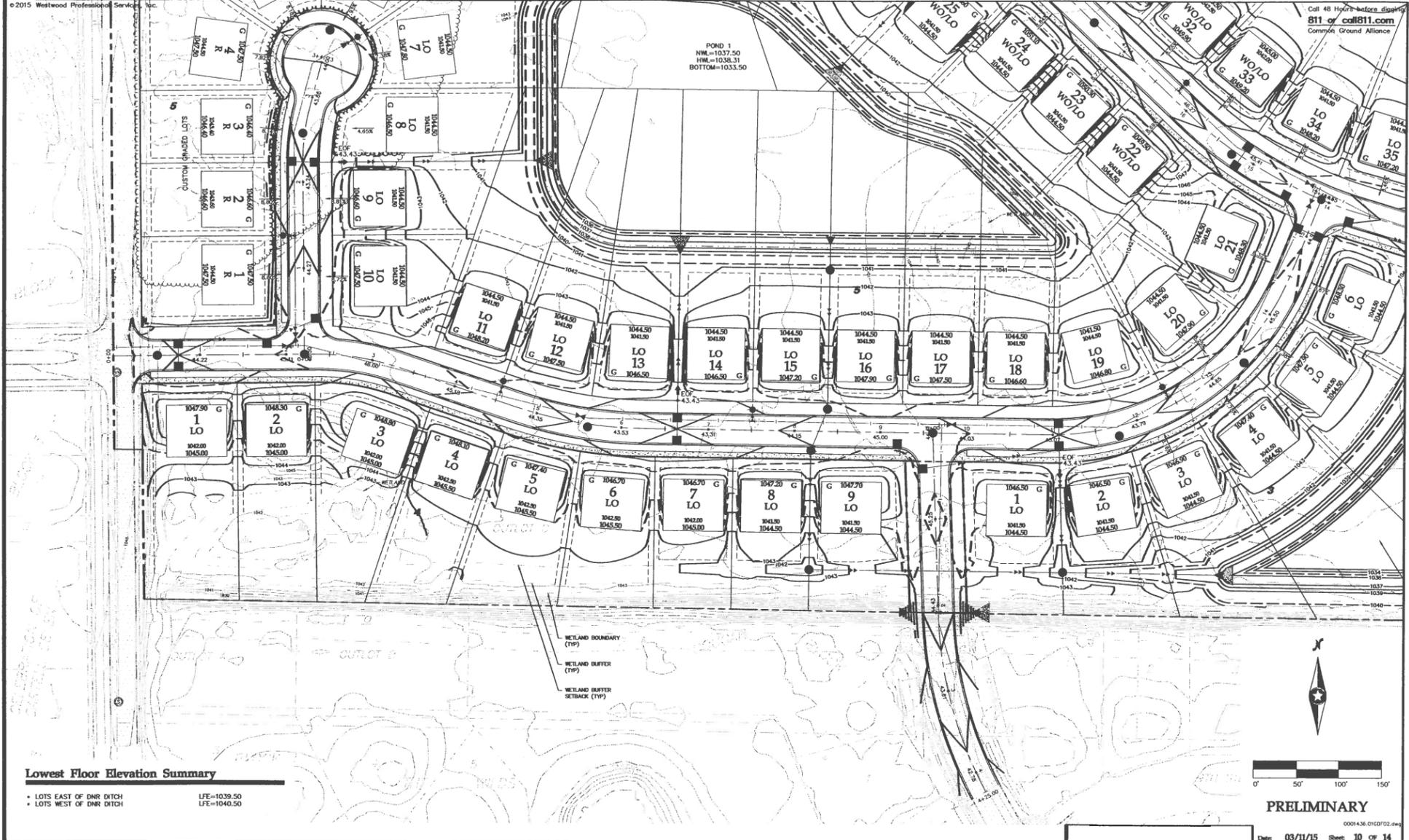
Sartell Development, LLC

301 7th Street North
Sartell, MN 56377

Providence

Sartell, MN

Grading Plan



Westwood
 Phone: (202) 253-8455 3701 17th Street North, Suite 200
 Fax: (202) 253-8737 St. Cloud, MN 56301
 Toll-Free: (800) 275-6464 westwood.com
 Westwood Professional Services, Inc.

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.
 Robert J. Olson
 Date: 06/30/15 License No. 45203

Designed	ESD
Checked	ESD
Drawn	JPT
Revised Drawing by/Date	

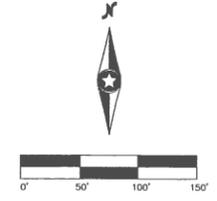
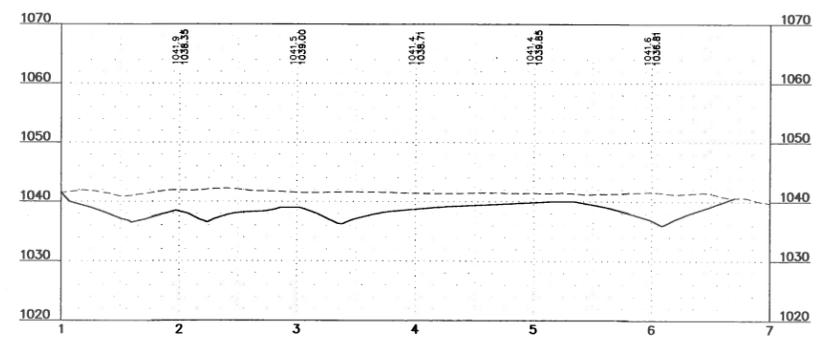
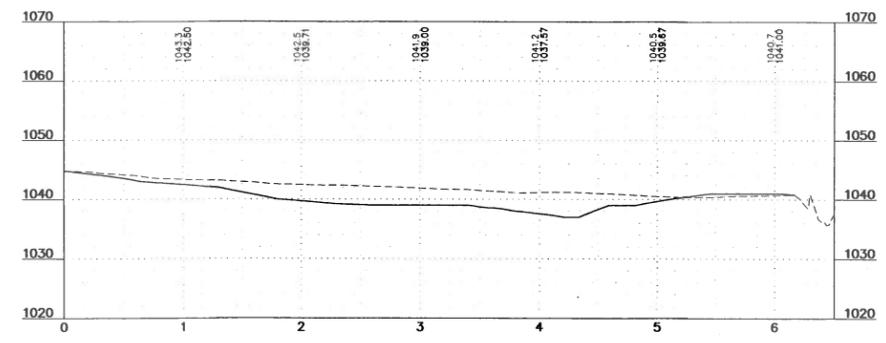
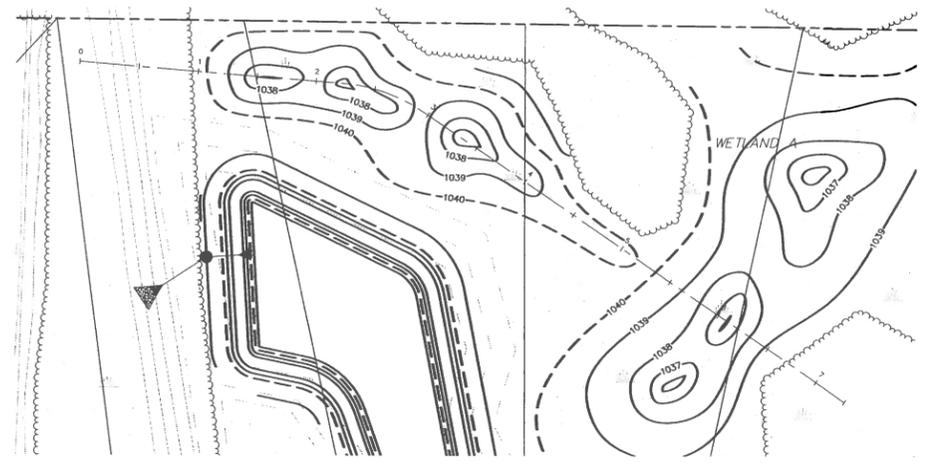
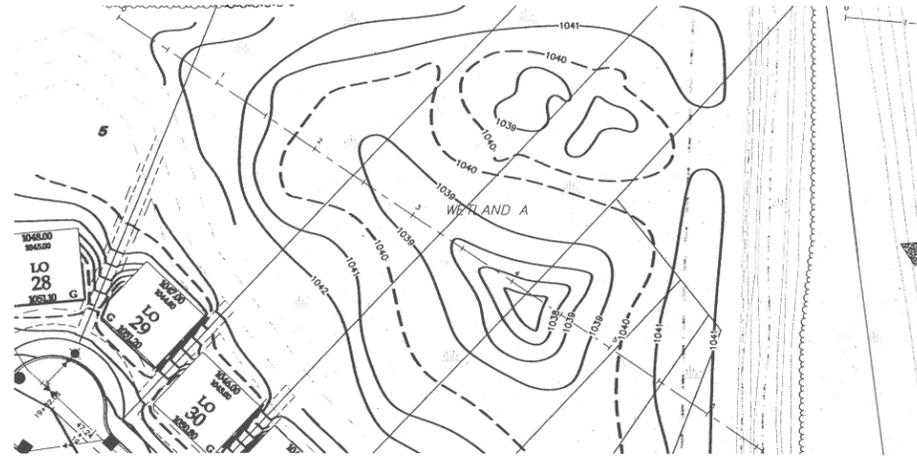
Prepared for: **Sartell Development, LLC**
 301 7th Street North
 Sartell, MN 56377

Providence
 Sartell, MN

Grading Plan

WETLAND ENHANCEMENT A

WETLAND ENHANCEMENT B



PRELIMINARY

Date: 03/11/15 Sheet: II OF 14

Westwood
 Phone (800) 255-8485 8751 12th Street North, Suite 200
 Fax (800) 255-8917 St. Cloud, MN 56303
 Toll Free (800) 270-8489 westwoodps.com
 Westwood Professional Services, Inc.

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Robert J. Olmstead
 Date: 06/30/15 License No. 45023

Designer: RJO Checker: RJO Survey: RJO Special Drawing: RJO	Prepared for: Sartell Development, LLC 101 7th Street North Sartell, MN 56377
----------------------------------------------------------------------	-----------------------------------------------------------------------------------------------

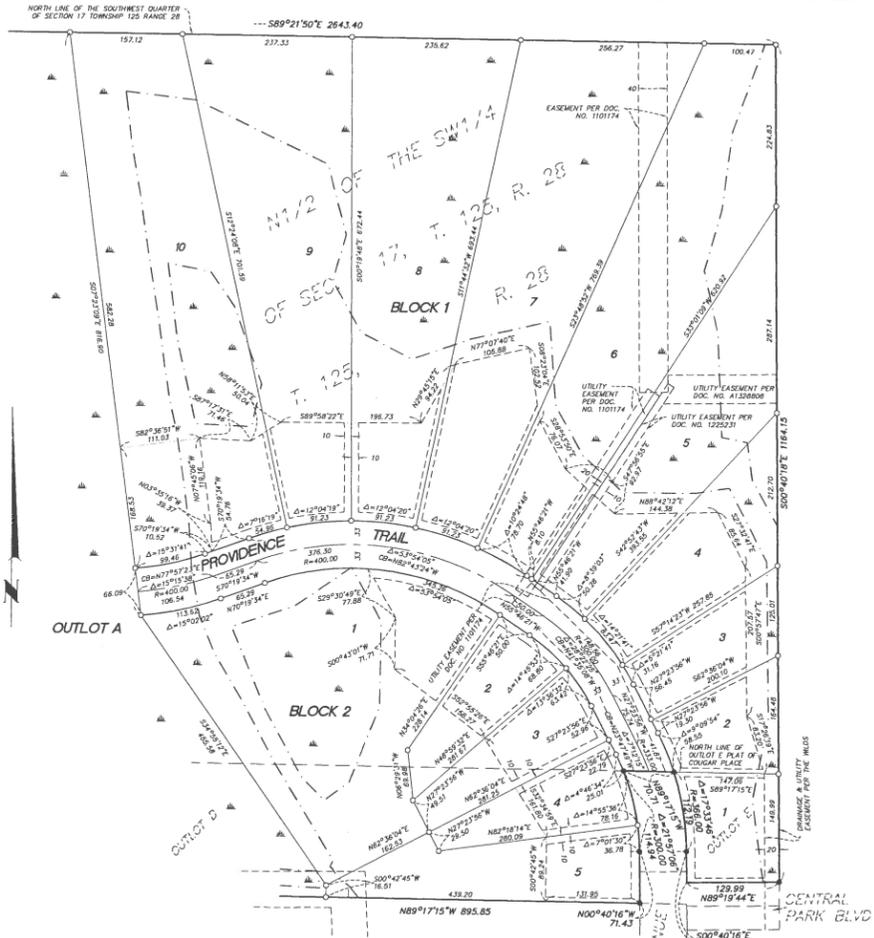
Providence
 Sartell, MN

Wetland Enhancement Plan

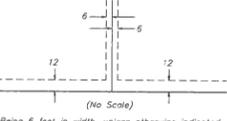
PROVIDENCE OF SARTELL

AREA SUMMARY

- BLOCK 1:
 LOT 1: 23,321 SQ. FT. 0.54 ACRES
 LOT 2: 19,729 SQ. FT. 0.45 ACRES
 LOT 3: 22,150 SQ. FT. 0.51 ACRES
 LOT 4: 38,541 SQ. FT. 0.88 ACRES
 LOT 5: 47,346 SQ. FT. 1.09 ACRES
 LOT 6: 109,452 SQ. FT. 2.51 ACRES
 LOT 7: 121,882 SQ. FT. 2.80 ACRES
 LOT 8: 114,448 SQ. FT. 2.62 ACRES
 LOT 9: 111,411 SQ. FT. 2.56 ACRES
 LOT 10: 124,896 SQ. FT. 2.87 ACRES
 BLOCK 2:
 LOT 1: 121,068 SQ. FT. 2.77 ACRES
 LOT 2: 21,815 SQ. FT. 0.50 ACRES
 LOT 3: 22,872 SQ. FT. 0.52 ACRES
 LOT 4: 21,609 SQ. FT. 0.50 ACRES
 LOT 5: 22,849 SQ. FT. 0.52 ACRES
 OUTLOT A:
 2,086,297 SQ. FT. 47.89 ACRES
 R/W VEDICATION:
 92,648 SQ. FT. 2.13 ACRES

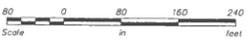


Drainage and Utility Easements are shown thus:



- (W) Denotes wetland.
- (I) Denotes 1/2 inch by 14 inch iron rebar set and marked by License No. 50319
- (M) Denotes found monument unless otherwise indicated

Bearings shown are based upon the north line of the Southwest Quarter of Section 17, Township 125, Range 28, and is assumed to bear S89°21'50\"/>



KNOW ALL PERSONS BY THESE PRESENTS, that Sartell Development LLC, a Minnesota limited liability company, owner and proprietor of the following described property, situated in the County of Stearns, State of Minnesota, to-wit:

Outlots C, D, & E, Cougar Place, Stearns County, Minnesota

AND

The North Half of the Southwest Quarter (N 1/2 SW 1/4) less and except the South 317.00 feet thereof, in Section Seventeen (17), Township One Hundred Twenty-five (125), Range Twenty-eight (28), Stearns County, Minnesota.

Has caused the same to be surveyed and platted as PROVIDENCE OF SARTELL and does hereby dedicate to the public for public use forever the public way as shown on this plat and also dedicating to the public for public use forever the drainage and utility easements as shown on this plat. In witness whereof said Sartell Development, LLC, has caused these presents to be signed by Steve Legoff, President of said Sartell Development LLC, this _____ day of _____ 20____.

Sartell Development, LLC

Steve Legoff, President

STATE OF MINNESOTA

COUNTY OF _____

The foregoing instrument was acknowledged before me this _____ day of _____ 20____ by Steve Legoff, President of said Sartell Development LLC, a Minnesota limited liability company, on behalf of said company.

Notary Signature _____

Notary Printed Name _____

NOTARY PUBLIC, _____ COUNTY, MINNESOTA

MY COMMISSION EXPIRES _____

Surveyor's Certificate

I hereby certify that this plat of PROVIDENCE OF SARTELL is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on the plat; that all monuments depicted on the plat have been or will be correctly set within one year as indicated on the plat; that all water boundaries and wet lands as of the date of the surveyor's certification are shown and labeled on the plat; that all public ways are shown and labeled on the plat. I further certify that this plat was prepared by me or under my direct supervision and that I am a duly licensed land surveyor under the laws of the State of Minnesota.

Terry T. Strus, Licensed Land Surveyor, Minnesota License Number 50319

STATE OF MINNESOTA

COUNTY OF STEARNS

The foregoing Surveyor's Certificate was acknowledged before me this _____ day of _____ 20____ by Terry T. Strus, Licensed Land Surveyor, Minnesota License Number 50319.

Notary Signature _____

Notary Printed Name _____

NOTARY PUBLIC, _____ COUNTY, MINNESOTA

MY COMMISSION EXPIRES _____

This plat of PROVIDENCE OF SARTELL was approved and accepted by the City of Sartell, Minnesota, at a regular meeting thereof this _____ day of _____ 20____.

By _____ MAYOR BY _____ CLERK

I hereby certify that this plat has been examined and recommended for approval this _____ day of _____ 20____.

STEARNS COUNTY SURVEYOR, MINNESOTA LICENSE NUMBER _____

I hereby certify that the taxes on the land described hereon are paid for the year _____ and all years prior to the year _____ and transfer entered.

Date _____ STEARNS COUNTY AUDITOR/TREASURER _____

DEPUTY AUDITOR/TREASURER _____ TAX PARCEL NUMBER _____

I hereby certify that this instrument was filed for record in the Office of the County Recorder in and for Stearns County, Minnesota on this _____ day of _____ 20____ at _____ o'clock _____ M as Document No. _____ in Plat Cabinet No. _____.

Stearns County Recorder _____

Deputy Recorder _____

Westwood
Professional Services, Inc.

5/11/13 - 19th Ave N

Sartell Police Department
 310 2nd Street South
 Sartell, MN 56377
 320-251-8186

Site Code:
 Station ID:
600 BLOCK 19TH AVE NORTH

Latitude: 0' 0.000 Undefined

Start Time	1	16	21	26	31	36	41	46	51	56	61	66	71	76	999	Total	Pace Speed	Number in Pace
05/11/13	0	0	0	2	4	2	0	0	0	0	0	0	0	0	0	8	29-38	6
01:00	0	0	0	1	2	1	2	0	0	0	0	0	0	0	0	6	25-34	3
02:00	0	0	0	0	3	0	0	0	0	0	0	0	0	0	0	3	29-38	3
03:00	0	0	0	2	1	0	0	0	0	0	0	0	0	0	0	3	24-33	3
04:00	1	0	0	0	0	1	0	0	0	0	0	0	0	0	0	2	5-14	1
05:00	0	0	0	1	0	0	0	0	0	0	0	0	0	0	0	1	19-28	1
06:00	0	0	0	2	1	0	0	0	0	0	0	0	0	0	0	3	24-33	3
07:00	0	1	1	1	5	2	0	0	0	0	0	0	0	0	0	10	30-39	6
08:00	0	2	4	6	18	3	0	0	0	0	0	0	0	0	0	33	28-37	22
09:00	0	4	6	8	10	4	2	0	0	0	0	0	0	0	0	34	26-35	16
10:00	3	4	9	12	22	6	0	0	0	0	0	0	0	0	0	56	27-36	30
11:00	3	3	8	21	26	18	0	0	0	0	0	0	0	0	0	79	28-37	44
12 PM	2	0	3	16	37	13	2	0	0	0	0	0	0	0	0	73	28-37	51
13:00	0	0	2	17	40	12	0	0	0	0	0	0	0	0	0	71	28-37	55
14:00	2	0	2	23	37	16	1	0	0	0	0	0	0	0	0	81	28-37	56
15:00	1	0	3	14	44	18	1	1	0	0	0	0	0	0	0	82	29-38	60
16:00	0	0	5	14	24	20	0	0	0	0	0	0	0	0	0	63	29-38	42
17:00	1	0	1	8	19	15	2	0	0	0	0	0	0	0	0	46	30-39	31
18:00	0	1	1	10	28	15	1	0	0	0	0	0	0	0	0	56	29-38	41
19:00	1	1	0	4	17	14	2	0	0	0	0	0	0	0	0	39	31-40	27
20:00	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*
21:00	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*
22:00	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*
23:00	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*
Total	14	16	45	162	338	160	13	1	0	749								
Percent	1.9%	2.1%	6.0%	21.6%	45.1%	21.4%	1.7%	0.1%	0.0%									
AM Peak	10:00	09:00	10:00	11:00	11:00	11:00	01:00									11:00		
Vol.	3	4	9	21	26	18	2									79		
PM Peak	12:00	18:00	16:00	14:00	15:00	16:00	12:00	15:00								15:00		
Vol.	2	1	5	23	44	20	2	1								82		
Total	289	178	609	2614	5386	2172	208	14	1	0	0	0	0	0	0	11471		
Percent	2.5%	1.6%	5.3%	22.8%	47.0%	18.9%	1.8%	0.1%	0.0%									

15th Percentile : 25 MPH
 50th Percentile : 31 MPH
 85th Percentile : 36 MPH
 95th Percentile : 39 MPH

Stats
 10 MPH Pace Speed : 28-37 MPH
 Number in Pace : 7611
 Percent in Pace : 66.3%
 Number of Vehicles > 55 MPH : 0
 Percent of Vehicles > 55 MPH : 0.0%
 Mean Speed(Average) : 31 MPH

Sartell Police Department

TO: ANITA RASMUSSEN
FROM: DEPUTY CHIEF STRUFFERT 
SUBJECT: PLANNING RECOMENDATIONS
DATE: JUNE 16, 2015
CC: MEMO FILE

Anita:

I have reviewed the plans for the Providence phasing plan and make the following recommendations:

I wouldn't be in support of their phasing plan as it stands now because phase 1 would allow the residents to leave the development via 13th Av N or Central Park Blvd (which was built very narrow and not for heavy vehicle traffic), but phases 2, 3 and 4 could potentially create 44 more households with only one way out of the development and that would be 19th Av N, which already sees a lot of traffic.

While I'm in support of having another city street connecting to different routes out of a development, the phases are such that it wouldn't allow for another exit route until "phase 5" the final phase is developed.

I believe that before the City allows a large development such as this to continue there needs to be another thoroughfare in and out of this development, something that is large enough to carry a volume of traffic and offer different travel directions than just south on 19th Av to 2 1/2 St. Diverting this traffic to different areas will help to keep everyone in this area of the city safer.

*Interdepartmental
Memo*

June 10, 2015

To: Anita Rasmussen/Planning & Community Development Director

From: Butch Rieland/Fire Marshal/Code Official

Subject: Providence Plat I

The following requirements are for the **Providence Plat I** preliminary plat.

ACCESS:

1. Access roads are allowable by code. **IFC 503.2.3 Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all weather driving capabilities.** Access roads will need to meet the specifications of Chapter 5 (Section 503 & Appendix D) of the IFC. **Dead-end fire apparatus access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus. The cul-de-sac purposed for the turnaround needs to meet the requirements of 96 feet per IFC D103.4.**

WATER SUPPLY:

There are hydrant locations shown on this plan. Hydrants will be placed along all public streets with a maximum spacing of 500'.

CONSTRUCTION:

Fire safety during construction will be governed by Chapter 14 of the IFC.

cc: Mary Degiovanni, Sartell City Administrator
Ken Heim, Sartell Fire Chief
File



Memorandum

To: Anita Rasmussen, Community Development Director

Cc: Rob Olson, PE
Westwood Professional Services

From: Mike Nielson, City Engineer

Date: June 18, 2015

Re: Providence – Revised Preliminary Plan Comments
WSB Project No. 2174-68

We have completed a review of the stormwater management for the preliminary site plan documents for the above referenced site prepared by Westwood Professional Services, Inc. signed March 11, 2015 and the revised Preliminary Construction plans dated 06/05/2015 and have the following comments:

1. Note that the water in the adjacent ditch reaches an elevation of 1040.9 for the 100-year storm and 1041.5 for the Atlas 14 100-year storm of 6.4". When this elevation is reached all of the storm ponds within the development will be backed up to that level. The high water elevation of 1040.9 should be noted as the HWL. Also the ditch elevation for the 10-year design storm reaches a calculated elevation of 1037.3 which is the approximate elevation of your calculated 100-year high water elevations in your ponds.

Stormwater

- Groundwater Observation report indicates that the groundwater elevation in the area is approximately 1034 to 1036. The proposed bottoms of pond elevations indicate that the groundwater will be in the pond. Is this the intent, or will the pond be lined?
- The high groundwater eliminates the option for infiltration.
- The stormwater plan indicates that there is extended detention being provided since infiltration is not possible; please provide information as to what the extended detention times are.
- The hydrocad model should pull out the street as a separate impervious area and include all the area beyond that as ½ acre lots.
- Subcatchment 4 includes the wetland area as area contributing to Pond 4P. Its not clear why this area is included in the drainage area to Pond 4P since its not draining there.

- The area draining to Pond 4P is area that was formerly draining to wetland D. Will wetland D change now that the area drains to Pond 4P and then to the ditch?
- Since the ditches will be backing up into the ponds during the 10-year event and above, the HWL for the pond should actually be that of the ditch and freeboard should be to the ditch HWL and not the pond (since this is what controls).
- Provide information on the sizing for the two ditch culverts beneath the road to show that the ditch to the north will not be impacted at all by the addition of these culverts.
- Please define the wetland border on the grading plan.
- What is the phasing of the stormwater ponds as different phases are being constructed? Phase 2 pond overflows to Phase 5 pond so some thought should be put into the timing of constructing different facilities as different phases occur.
- Make sure all the proposed contours tie off to existing. There are some parts of wetland A that don't appear to tie off properly.
- The HWL's in the ditches should be noted on the plans.
- Final plans should provide details for outlet control structures.

Grading/Erosion Control

- Final plans will require a SWPPP that includes temporary sediment basins for construction.

2. Sheet 7 -10 Grading Plans

1. The low floor elevations summary for lots east of the ditch are shown as 1039.5 and west of the ditch as 1040.9. Please revise the summary to indicate a Low Floor Elevation of 1040.5 to be consistent with the lots which are shown at 1040.5.

Sheet 11 of 14 Wetland Enhancement Plan

The wetland enhancement plan must be approved by all agencies. Details of the plan on sheet 11 should be update to include all details of the plans submitted for approval.

Sheet 12 of 14 Erosion Control Plans

1. Rock Construction entrances will be required for each phase of development.
2. A NPDES permit will be required for each phase and posted on site during construction.

Sheet 13 of 14 Sanitary Sewer and Watermain Plan

1. Watermain must be connected at Cougar Lane.
2. Gate Valves will be required at 600' spacing.

Sheet 14 of 14 Storm Sewer Plan

1. CB 406 and 407 are shallow. Provide an explanation of why additional depth cannot be obtained.
2. All storm sewers shall be RCP with the last 3 pipe sections tied at all outlets. .

If you have any questions regarding this plan review, please call me at 320-293-2989.



Memorandum

To: *Anita Rasmussen, City of Sartell
Wayne Cymbaluk, Stearns County Soil and Water District
Cade Steffenson, MN Board of Water & Soil Resources
Nicki Blake-Bradley, MN Department of Natural Resources
Ryan Malterude, US Army Corps of Engineers*

Copy: *Mike Nielson, WSB & Associates, Inc.
Andi Moffatt, WSB & Associates, Inc.
Kelly Kunst, Westwood Professional Services
Matt Vollbrecht, Westwood Professional Services*

From: *Shawn Williams, Senior Environmental Scientist, WSB & Associates, Inc.*

Date: *April 13, 2015*

Re: *Providence Residential Development Wetland Replacement Plan TEP Meeting Minutes*

WSB Project No. 02174-580

On March 31, 2015, a Technical Evaluation Panel (TEP) meeting was held at the City of Sartell City Hall to discuss the Providence Residential Development Wetland Replacement Plan, proposed by Sartell Development, LLC.

Attendance included:

Anita Rasmussen, City of Sartell
Andi Moffatt, WSB
Shawn Williams, WSB
Wayne Cymbaluk, Stearns County Soil and Water District
Cade Steffenson, MN Board of Water & Soil Resources
Rob Olson, Westwood
Matt Vollbrecht, Westwood
Steve Legatt, Infinity Homes, Inc.
Steve Noble, Noble Custom Homes

Nicki Blake-Bradley of the Minnesota Department of Natural Resources (MnDNR) and Ryan Malterude of the US Army Corps of Engineers were not in attendance.

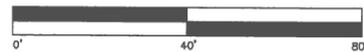
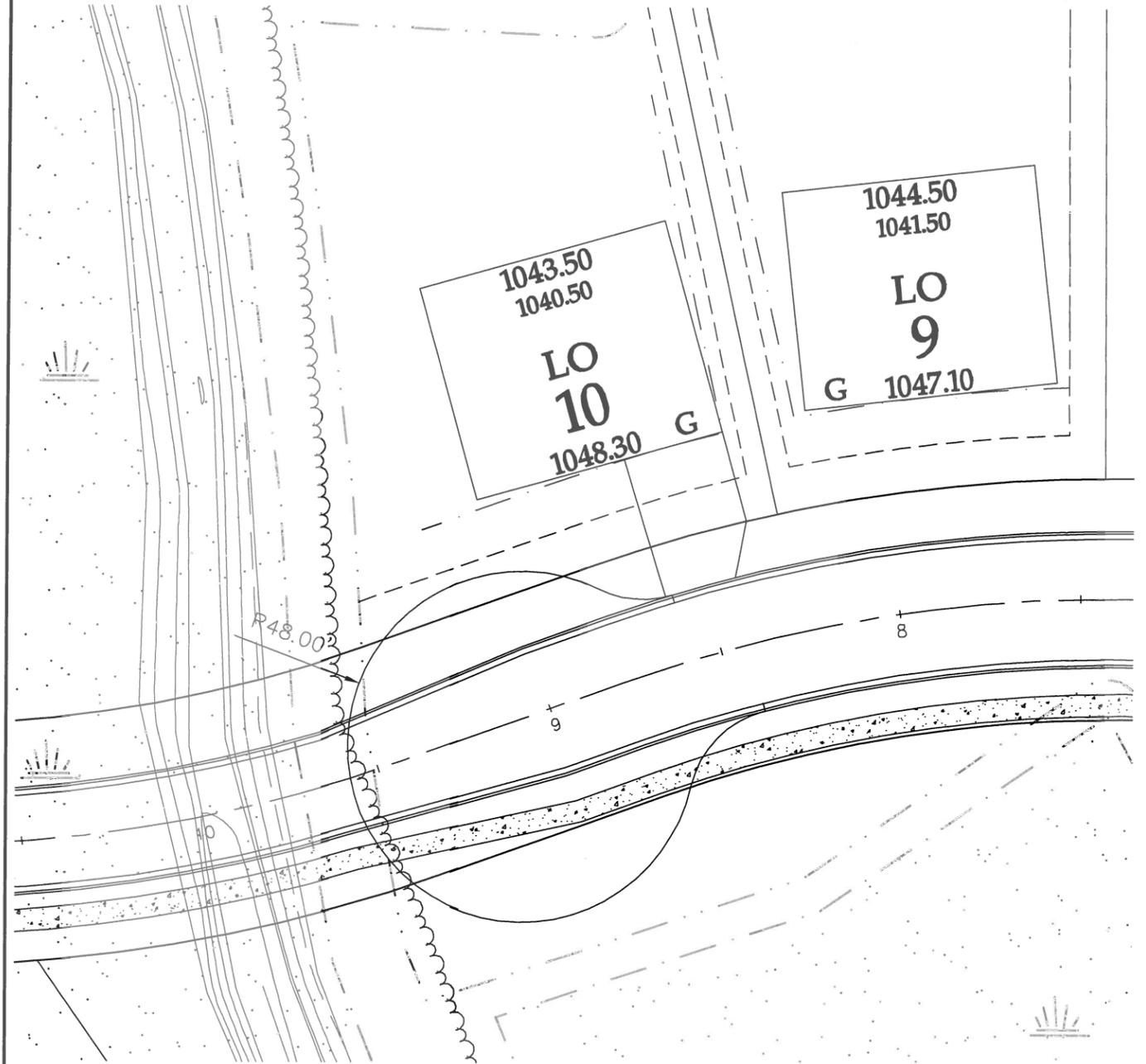
*Note: On April 6, 2015 (after this meeting) Westwood submitted a wetland permits addendum for the project. The addendum splits out the wetland impacts from tributary impacts. The joint application form was revised to reflect those numbers. Also included is a revised plan sheet that shows those numbers and an added exhibit depicting the enhancement areas. As a result of the revised calculations, the actual wetland impacts requiring replacement is 0.47 acres (rather than 0.63) and tributary impacts total 0.16 acres. Impacts to the MnDNR Watercourse represent 0.05 acres of the total tributary impacts. The US Army Corps of Engineers had requested the wetland impacts and tributary impacts be separated.

Main Topics of Discussion from March 31 Meeting

1. The east-west road connection required for the proposed development plan to conform to the City Transportation Plan results in 13,434 SF (previously a total of 0.42 acres) of wetland impact to Wetland A, and 4,663 SF of tributary impacts, per the updated calculations. The City indicated that a site plan proposed without an east-west road connection (and resulting in less wetland impacts) would be unlikely to obtain City Council approval, as it would not conform to the City's Transportation Plan. The City indicated that an east-west road connection in that northwest portion of the City has been identified since 2003. Development of a road farther north (by others) would likely be prohibited due to large wetland areas.
2. The Applicant expressed concern regarding traffic volumes, resident concerns, and potential reduction in real estate values that could result from the east-west road connection in the proposed site plan. The Applicant indicated they were not in favor of the road.
3. The Applicant presented an alternative site plan without the east-west road connection, rather including a cul de sac, which resulted in less wetland impacts, but again, it was determined that an east-west road connection will be a very important aspect when the City Council reviews the project.
4. A 50 foot setback is required from the ditch (for DNR Public Waters) per the City's Floodplain Ordinance. There is no mapped FEMA floodplain on the site.
5. BWSR indicated concern about wetland Impact #1 that appeared to be for the inclusion of one lot. After discussion, BWSR was in agreement that the proposed wetland impact has been sequenced appropriately.
6. The TEP discussed the potential for elimination/modification of lots to reduce wetland impacts, but after discussion or site plan requirements and conformance with City zoning ordinance, the wetland impacts resulting from the proposed lot configuration was deemed acceptable.
7. Westwood indicated there is a relatively shallow water table at the project location, and that the project will comply with the State stormwater requirements.

8. The project is proposed to occur in five phases, which could carry past the typical 5 years (or otherwise specified period) that authorization for wetland impacts is valid. The Applicant requested that the TEP recognize that the project will be completed in phases. The TEP acknowledged the project will occur in phases, and a consensus was reached that it will be acceptable for the wetland impacts to be mitigated per phase, meaning wetland credits (replacement) will be purchased by phase. Proof of wetland bank credits transaction (debited credits) will be provided to the City of Sartell prior to wetland impacts. The City indicated this approach would likely be included as a condition in the development agreement. If wetland boundary re-verification or re-authorization for wetland impacts is required in the distant future, a note in the file will be present indicating that the Applicant had made a request for the TEP to acknowledge the full build-out of all five phases could extend to 2025, as indicated in the permit narrative.
9. The TEP discussed the proposed wetland enhancement and its association with the tree removal on the northwest portion of the lot, in conjunction with the City's Environmentally Sensitive Areas (ESA) ordinance. The TEP requests that the Applicant provide additional information regarding best management practices for establishing a native plant community within this area, and also acknowledged the area will be identified by signs. The TEP also requested that the Applicant provide a reasonable vegetation management and monitoring plan to ensure the wetland enhancement area establishes successfully.
10. The City indicated this wetland replacement plan will be reviewed and voted on by the Sartell City Council.
11. After review and discussion of the proposed site plan and wetland replacement plan presented at the meeting, the TEP recommended approval with conditions. The two primary conditions recommended to the City Council include:
 - The project wetland replacement will be executed by Phase.
 - The Applicant will provide a wetland enhancement establishment and monitoring plan.
12. According to the Applicant, the US Army Corps of Engineers has indicated they will process the wetland impacts under two separate permits. There will be a permit issued for the wetland impacts and a permit issued for the no-loss impacts associated with the wetland enhancement.

The information included in this meeting minutes document is based on WSB's notes and interpretation of the TEP meeting. Please contact me at 763-287-8531 or swilliams@wsbeng.com by this Friday, April 17, 2015 if you have questions or any other items to add.



Sheet: 1 OF 1
Date: 7/2/2015

Westwood

Phone (320) 253-9495 3701 12th Street North, Suite 206
Fax (320) 253-8737 St. Cloud, MN 56303
Toll Free (800) 270-9495 westwoodps.com

Westwood Professional Services, Inc.

Owner _____
Checked _____
Drawn: BJO
Record Drawing by/date _____

Providence Sartell

Sartell, Minnesota

Temp.
Cul-de-sac

Exhibit

June 5, 2015

Anita Rasmussen
Community Development Director
City of Sartell
125 Pinecone Road North
Sartell, MN 56377

Re: Providence
File 0001436.01

Dear Anita:

The attached submittal and application materials are for the proposed Providence single family residential development located on 19th Avenue North and 10th Street North. The proposed development is just east of the Celebration development and North of the Wilds development in Sartell. The request for this property is intended to allow for residential development, while ensuring and preserving the quality of the existing natural environmental features and the existing adjacent single-family neighborhoods

Background

The site is a 72.6-acre parcel that has access from 19th Avenue north and from Central Park Boulevard. The north portion of the site consists of unplatted land and the southerly portion is Outlots A – E of the Cougar Place subdivision. The lots are currently vacant and do not contain any structures. The lots are Zoned R-1 and guided as very low density, 0-3 units per acre in the future land use plan. Adjacent properties are also low density residential, public open space and future very low density land uses.

The property is also identified as being in an Environmentally Sensitive Area (ESA) for the existing wetlands and wooded areas. Since 2013 we have worked with City staff on concept level plans that meet the requirements of the ESA ordinance.

Proposed Land Use and Zoning

The proposed land use for this site will be very low density residential single-family custom homes that will promote high quality design which is compatible with the existing surrounding land uses. The proposed PUD zoning would be applied over the entire property.

The proposed development will be guided by the City of Sartell R-1 zoning lot standards, but will be modified as follows:

Permitted Uses: Single-Family Residential
Maximum Height: 40 feet
Front Yard Setback: 25 feet
Side Yard Setback: 10 feet
Corner Setback: 25 feet
Rear Yard Setback: 30 feet

The density of the site is 1.13 units/gross acre or 11.85 units/net acre.

One lot is proposed by combining Outlot A & B. This lot would be accessed from 19th Avenue and this home would be no closer than 75 feet from the existing right-of-way. This additional setback will allow for the home to have a turnaround in the driveway and the additional setback will make the home feel as if it is not too close to 19th Avenue. Spacing between this proposed driveway is at the mid-point between two existing intersections along 19th Avenue and would not cause any traffic concerns. Grading and home type has been provided for this home on the preliminary plans.

Phasing for this project will start on the east side of the side and then future phases will approach from the west as shown in the phasing and timeline plan included in the plan set.

City Applications for Approval

1. Rezoning – A rezoning request from the existing R-1 to PUD for the entire development.
2. Preliminary Plat – Preliminary plat submittal to allow for the combination of the previous platted two lots into one lot to accommodate the proposed development.

Existing Wetlands, Trees and Proposed Landscaping

A wetland delineation was performed at the site in the fall of 2013. Several wetlands were delineated at the site. Minor wetland impacts are being proposed to allow the ability to build a lot on the portion of the site that was Outlot E and for an isolated upland wetland that will be impacted by the adjacent pond. The other impacts to wetland are due to extension of public streets through these areas. Design considerations such as road width and sidewalk location have been modified to reduce the impacts to the wetlands. Wetlands will be mitigated for by purchasing off site wetland bank credits in accordance with the Wetland Conservation Act and as approved by the Technical Evaluation Panel.

As part of the ESA, wetland enhancements will also be created during future phases to allow higher quality wetlands to be established and to provide flood storage for the DNR watercourse that passes through the site.

The existing site is mostly wide open with the exception of three large clusters of trees. The trees are being preserved as shown on the plans and the existing woods have had a tree classification done previously and copy is included with this submittal. The revised site plan submitted now includes 7.3 acres of tree area that is included in custom graded homes and the previous submittal from March was 5.0 acres. An increased potential tree savings of 2.3 acres vs the previous site plan.

The disturbed soils at the site will have seed or sod and an irrigation system. Seeding of the wetlands will also be performed at the time they are enhanced. Landscaping will be done in accordance with City Ordinances and will be provided at the time each home is built.

Ponds are being constructed to treat the stormwater runoff from the site. Due to seasonally high groundwater elevations, infiltration is not practical at the site. The ponds provided are oversized and provide extended detention and a reduced rate control to mimic the existing runoff from the site. Additional soil boring will be done on the east half prior to final plans being done, but preliminary borings from 2013 are included for reference along with a groundwater determination spreadsheet to show lowest floor elevations per City requirements. Additional borings at the site this spring will further define the lowest floor elevations for the homes.

Proposed Utilities and Storm Water Management

Existing sanitary and water utilities are located at both ends of the property and are sized to handle the demands of the development as proposed.

The goal of the storm water management plan is to provide adequate treatment for storm water quality for all runoff from the proposed development, and to the rate of discharge. The ponds will also provide additional flood storage to alleviate downstream flooding that currently occurs to date. Developers will work with city staff on stormwater trunk fee credits that correlate to the flood storage provided. Additional modeling of the site and ditches will occur prior to construction to determine the full impact this site has on the reduction flood elevations of the DNR ditch downstream from this site.

Proposed Streets/Traffic

The proposed development will be accessed from 19th Avenue North on the west side and 13th Avenue on the east side. The revised site plan includes three cul-de-sacs and an intersection at 10th Street and Providence Trail. The addition of these items to the site plan will aid in calming traffic and providing for the desired quiet residential neighborhood feel. As the site develops, a connection will be created across the DNR watercourse as shown in the proposed plans, but will not occur until an east/west collector is constructed north of this development.

Summary

This project approval is being requested to enable the development of a quality very low density residential neighborhood that provides a more efficient and effective use of the land while maintaining the requirements set forth in the ESA ordinance.

Please contact me if you have any questions.

Sincerely,

WESTWOOD PROFESSIONAL SERVICES

A handwritten signature in black ink, appearing to read "Robert J. Olson". The signature is fluid and cursive, with a long horizontal stroke at the end.

Robert Olson, PE
Project Manager

June 24, 2015

Anita Rasmussen
Community Development Director
125 Pinecone Road North
Sartell, MN 56377

Re: Providence of Sartell
File 0001436.01

Dear Anita:

We have reviewed and considered the comments in the memos received April 17, 2015 from you regarding the proposed Providence of Sartell development project. All of the comments provided are included in this memo with a response to each comment in *italics*. A majority of the engineering comments are due to the preliminary nature of the plan set and future construction plans will be provided to give greater detail to the City and to the contractors constructing these improvements once the City approves the site as submitted. Westwood will work closely with the City and WSB to ensure that all of these items are addressed.

City Staff Report/Memo:

Issues to be resolved:

1. Traffic concerns for 19th Avenue North and holding Phases 2-5 of Phase 5 becomes Phase 2. *Due to the economics of the project, holding phase 2-5 until a future collector is constructed north of the site is not economically feasible for the project to move forward. Likewise, converting phase 5 into phase two creates economic hardships due to the amount of street required in order to connect the east side to Cougar lane as any road extension from Phase one will exceed the maximum cul-de-sac length. As shown on the revised plans, a phase six has been added to further accommodate the crossing of the wetlands and DNR waterway. A future meeting between the City and Client will also assist in providing solutions to this issue that will benefit both the City and the Development.*
2. Many of the lots within Block 5 (lots 29-35) have shallow building areas due to the fact that the wetland setback lines are shallow. *As shown on plans, the constructed home pads are 60 feet deep and the typical homes will be 30-40 feet in depth, allowing an additional 20 feet for any decks, sunrooms, or bump outs from the home to be situated within the buildable area of the lot. The shallow lots with limited rear yards are Lots 29-33 and will provide owners that do not wish to have large backyards an option for a new home within this development.*

Preliminary Plat Conditions of Approval

1. Approval is contingent on TEP/WCA application request. *Comment noted.*
2. All provisions outlined in the Natural Resource Management Plan. *Revise individual lot grading to Lots 1-6 and 9-15 in block 5, as Lots 7 and 8 will be graded due to the lack of trees situated on those lots..*
3. Phasing of 2-5. *See comment in issues to be resolved.*
4. Additional screening along all double frontage lots (along 19th Avenue) per the ordinance (phase 2). *Additional screening measures would occur on a lot by lot basis after custom clearing has been performed for each lot. It is fully anticipated that the remaining wooded area from the custom grading will provide plenty of natural buffer along 19th Avenue. If screening is found to be needed, the home builder will work with City staff to provide adequate screening.*
5. All engineering (memo dated _____) issues are resolved. *Items are addressed as commented further on in this memo.*
6. Plat is consistent with all fire and building code provisions. *Comment acknowledged.*
7. Developer will be responsible for all trunk and park charges, along with all costs associated with the installation of utilities, roadways, paths, sidewalks, lights, mailboxes (per the new USPS standards). Storm trunk credit may be determined and granted after any improvements or wetland enhancements are completed and will be applied to the next phase. *Comment noted*
8. Street name Changes. *Names changed on revised plans as noted in the memo.*
9. Minimum of 20 foot easements with no obstructions, over any utility lines within private property. *Easements of 20 feet are provided over all utility lines. Final coordination of easements will occur at time of each final plat.*
10. Shallow lots within Block 5. *See previous comment response.*

Final Plat Conditions of Approval

1. Comments 1-2 and 4-8. *Comments noted.*
2. Comment 3. All lots, driveways, housing types, and elevations shall be constructed as proposed. Deviations during building permits will require a new grading plan approval from the City (along with applications and fees) *The proposed development is designed as custom built homes on "semi" pad ready lots. Due to the custom nature of the future homes and future changes to all of the items listed above may occur depending on the future homeowners design and layout. The proposed grading plan shows the desired home types for each lot, but each lot provides plenty of flexibility for future home designs and layouts. With this proposed grading plan, not one lot is dependent on the grades of a neighboring property, nor will the grades of one lot adversely affect the grades of a neighbor. All homes will be guided by the lowest floor elevation and lowest opening as indicated on each pad. If a home desires to be modified to achieve a walkout vs a lookout, a new grading plan is not warranted as long as the minimum elevations are being met as indicated on this plan and future final construction grading plans. We will work with City staff of achieving a final grading plan that will set clear expectations and ensure that the homes are set at or above the minimum elevations required to protect the homes from future drainage issues.*

City Engineering Memo:

All comments have been noted and all of these comments will be addressed and coordinated with the City Engineer as we proceed into the development of the final plans.

We believe we have addressed a majority of the issues raised in the staff report and we look forward to the construction of this new development in Sartell.

Please contact me if you have any questions.

Sincerely,

WESTWOOD PROFESSIONAL SERVICES

A handwritten signature in black ink, appearing to read "Robert J. Olson". The signature is fluid and cursive, with a long horizontal stroke at the end.

Robert Olson, PE
Project Manager

SARTELL CITY COUNCIL

AGENDA COVER SHEET

Originating Department Planning Department	Meeting Date: July 13, 2015	Agenda Item No. 7c
Agenda Section: Public Hearing	Item: Subdivision Ordinance Amendments – Cul-de-sac Length	

RECOMMENDATION:

Approve the amendment in the subdivision code allowing for the length of a cul-de-sac to not exceed 750 feet.

BOARD/COMMISSION RECOMMENDATION:

The Planning Commission recommended approval of the subdivision code amendment (5/0)

BACKGROUND:

In recent months, there's been some discussion and requests by developers to lengthen our maximum cul-de-sac lengths to 750 feet due to the fact that is the maximum length allowed by the fire code (without some type of special exception or review). The purpose of the amendment is to make our subdivision code consistent with the fire code.

11-5-2 STREET DESIGN – Subdivision Code

A. Cul-de-sacs shall only be developed where justified by irregular topography or where adjacent to limited access streets and shall meet the following standards:

1. The maximum length shall not exceed ~~six hundred fifty (650)~~ Seven hundred and fifty feet (750), as measured from the centerline of the connecting street to the center of the cul-de-sac.

BUDGET/FISCAL IMPACT:

NA

ATTACHMENTS:

1. Ordinance and Summary Ordinance

ACTION REQUESTED:

Final approval and adoption of the ordinance and summary ordinance for publication.

Ordinance No. _____

AN ORDINANCE REPLACING SUBDIVISION ORDINANCE 11-5-2A (1)

The following official summary of the ordinance referred to has been approved by the City Council as clearly informing the public of the intent and effect of the amendments.

Title 11, Chapter 5.A (1)
Cul-De-Sac Design

The maximum length shall not exceed ~~six hundred fifty (650)~~ Seven hundred and fifty feet (750), as measured from the centerline of the connecting street to the center of the cul-de-sac.

A printed copy of the entire ordinance is available for inspection by any person at the office of the City Clerk any Monday through Friday between the hours of 7:00 a.m. and 4:30 p.m.

This document hereby is made a part of this ordinance and is attached hereto.

Mayor

ATTEST:

City Administrator

SEAL

PUBLISHED IN THE SARTELL NEWSLEADER ON ____

City of



2016 BUDGET

Draft 1: July 13, 2015

2016 BUDGET

The first budget draft presented reflects the City staff's team approach toward budgeting for what we see as the highest priorities City-wide rather than just within our individual departmental units. What follows are the numbers and rationale behind the budget draft for your 2016 general fund operations:

PERFORMANCE MEASURES

The City annually conducts a performance measurement survey required by the State of Minnesota for participation in their performance measures program. We recognize that responses are often situational based on whatever has recently occurred within the City at the time of the survey (Verso fire increased fire service ratings, bad ice storm dropped snowplowing ratings, etc.). But this is one tool we use to gauge overall opinion trends in a number of budget areas – not looking at one year blips, but multi-year trends. Here are the numbers since we started surveying in 2011:

How would you rate the overall appearance of the city?	2011	2012	2013	2014	How would you describe your overall feeling of safety in the city?	2011	2012	2013	2014
# saying Excellent	34	96	62	63	# saying Very Safe	79	238	138	157
# saying Good	63	211	117	172	# saying Somewhat Safe	21	92	55	106
# saying Fair	6	28	15	28	# saying Somewhat unsafe	0	5	1	8
# saying Poor	0	4	0	5	# saying Very Unsafe	0	1	0	2
# saying Don't know	0	0	0	2	# saying Don't know	0	0	0	0
Total Responses	103	339	194	270	Total Responses	100	336	194	273
% saying Excellent	33%	28%	32%	23%	% saying Very Safe	79%	71%	71%	58%
% saying Good	61%	62%	60%	64%	% saying Somewhat Safe	21%	27%	28%	39%
% saying Fair	6%	8%	8%	10%	% saying Somewhat unsafe	0%	1%	1%	3%
% saying Poor	0%	1%	0%	2%	% saying Very Unsafe	0%	0%	0%	1%
% saying Don't know	0%	0%	0%	1%	% saying Don't know	0%	0%	0%	0%

How would you rate the overall quality of fire protection services in the city?	2011	2012	2013	2014	How would you rate the overall condition of city streets?	2011	2012	2013	2014
# saying Excellent	42	177	112	133	# saying Excellent	10	32	15	3
# saying Good	33	101	51	91	# saying Good	66	205	89	81
# saying Fair	3	6	3	6	# saying Fair	25	85	69	118
# saying Poor	0	0	0	1	# saying Poor	2	15	19	69
# saying Don't know	24	56	28	41	# saying Don't know	0	1	0	0
Total Responses	102	340	194	272	Total Responses	103	338	192	271
% saying Excellent	41%	52%	58%	49%	% saying Excellent	10%	9%	8%	1%
% saying Good	32%	30%	26%	33%	% saying Good	64%	61%	46%	30%
% saying Fair	3%	2%	2%	2%	% saying Fair	24%	25%	36%	44%
% saying Poor	0%	0%	0%	0%	% saying Poor	2%	4%	10%	25%
% saying Don't know	24%	16%	14%	15%	% saying Don't know	0%	0%	0%	0%

How would you rate the overall quality of snowplowing on city streets?	2011	2012	2013	2014	How would you rate the dependability and overall quality of city sanitary sewer service?	2011	2012	2013	2014
# saying Excellent	16	47	39	39	# saying Excellent	37	137	90	110
# saying Good	48	167	94	90	# saying Good	53	164	87	132
# saying Fair	28	88	37	91	# saying Fair	3	10	5	7
# saying Poor	9	26	20	54	# saying Poor	0	0	0	2
# saying Don't know	1	12	4	0	# saying Don't know	10	28	12	22
Total Responses	102	340	194	274	Total Responses	103	339	194	273
% saying Excellent	16%	14%	20%	14%	% saying Excellent	36%	40%	46%	40%
% saying Good	47%	49%	48%	33%	% saying Good	51%	48%	45%	48%
% saying Fair	27%	26%	19%	33%	% saying Fair	3%	3%	3%	3%
% saying Poor	9%	8%	10%	20%	% saying Poor	0%	0%	0%	1%
% saying Don't know	1%	4%	2%	0%	% saying Don't know	10%	8%	6%	8%

How would you rate the dependability and overall quality of the city water supply?	2011	2012	2013	2014	How would you rate the overall quality of city recreational programs and facilities (e.g. parks, trails, park facilities, etc.)?	2011	2012	2013	2014
# saying Excellent	45	110	86	109	# saying Excellent	37	95	79	92
# saying Good	44	162	81	125	# saying Good	40	163	89	130
# saying Fair	8	46	21	28	# saying Fair	19	59	20	31
# saying Poor	2	8	4	5	# saying Poor	6	12	5	8
# saying Don't know	2	14	0	7	# saying Don't know	1	9	1	12
Total Responses	101	340	192	274	Total Responses	103	338	194	273
% saying Excellent	45%	32%	45%	40%	% saying Excellent	36%	28%	41%	34%
% saying Good	44%	48%	42%	46%	% saying Good	39%	48%	46%	48%
% saying Fair	8%	14%	11%	10%	% saying Fair	18%	17%	10%	11%
% saying Poor	2%	2%	2%	2%	% saying Poor	6%	4%	3%	3%
% saying Don't know	2%	4%	0%	3%	% saying Don't know	1%	3%	1%	4%

How would you rate the overall quality of services provided by the city?	2011	2012	2013	2014
# saying Excellent	31	68	58	62
# saying Good	61	227	117	170
# saying Fair	7	29	17	34
# saying Poor	1	3	0	4
# saying Don't know	3	10	2	2
Total Responses	103	337	194	272
% saying Excellent	30%	20%	30%	23%
% saying Good	59%	67%	60%	63%
% saying Fair	7%	9%	9%	13%
% saying Poor	1%	1%	0%	1%
% saying Don't know	3%	3%	1%	1%

MAINTAINING CASH RESERVES

Throughout the recession, the City consistently monitored cash reserves to maintain your financial security and strong bond rating. The slow recovery continues to make that a challenge, and your overall cash reserves are lower than desired. We are experiencing improvement in 2015 as a number of major building permit projects were delayed from 2014 to 2015, and over a million dollars in forfeiture sale proceeds from 2014 were paid to the City in mid-2015. So your cash reserves are certainly stronger at this point in 2015 than just a few months ago, but they are not sufficient to make fund shift strategies a viable option to reduce the general fund budget for 2016.

Your Financial Management Plan had a goal of getting your City debt below \$50 million by 2016, and you accomplished that in 2014. Now our focus shifts to re-building cash reserves for bond rating and overall fiscal health and that is the primary reason that no funding shifts are recommended within the 2016 budget proposal. We continue to utilize the interfund loan approach for SAC and WAC debt service, but that is a line item we will discuss during the Council's draft budget review.

KEY PRIORITY CHOICES

The Police Chief's 2016 staffing memo outlines the Department's case for adding more full time patrol officers, and the City staff supports that request. In addition, this budget draft also adds one full time park maintenance position (which will also help with snowplowing in the winter months) and we continue increased street funding with higher sealcoating and street capital funding/abatement levy as planned. Those are the highest priorities City staff recommends for 2016 funding.

We had also looked at adding a full time GIS/engineering tech type position in 2016, but we are opting to see how our new engineering contract and other contracted mapping options work for us in 2016.

We also continue to look at how and when to separate the City Administrator/Finance Director position, but we are not proposing to fund splitting that position in 2016.

You can see that our 2016 budget draft adds substantial funding, and the items we did not include in this first budget draft are those we did not feel rose to the same need level that our public safety and public works have at this time.

SUMMARY

The City staff team advocates a tax rate increase for 2016. Our proposed budget increases are focused on maintaining Sartell's quality of life without overburdening taxpayers. The first draft budget is projected to increase your tax rate from current 38.97% to over 41%. We still have some reductions that have not been incorporated into this first draft, but a fundamental

question will be whether you want to make changes to your SAC and WAC debt strategy. That strategy starts increasing your general fund levy and that is impacting your draft 2016 tax rate by more than one full point. While cutting that makes your short term rate more attractive, it increases the long term rate increase risk. Because this strategy has you paying the general fund back in future years using connection fees, it holds down your tax rate over the longer term.

No action on this is needed or requested at your meeting. Our discussion on Monday night will overview a broader look at multiple year tax rates and impacts. We would like the Council to have time to consider this budget and the impacts and options on Monday night and then have broader discussion with department managers on budget details at your August meeting.

CITY OF SARTELL
Revenue Budget Worksheet-2016

Account Descr	2013 Amt	2014 Amt	2015 YTD Amt	2015 Budget	2016 Budget	Comment
FUND 101 GENERAL						
DEPT 41 GENERAL GOVERNMENT						
R 101-41-350-31010 CURRENT AD VALOREM TA	\$3,953,733.56	\$3,910,517.21	\$1,614,540.76	\$4,340,878.00	\$4,634,121.00	
R 101-41-350-31020 DELINQUENT AD VALOREM	\$45,069.43	-\$32,548.06	\$7,726.54	\$10,000.00	\$0.00	
R 101-41-350-31030 MARKET VALUE CREDIT	\$144.28	\$139.92	\$0.00	\$0.00	\$0.00	
R 101-41-350-31070 TAX ABATEMENT REVENUE	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
R 101-41-350-33401 LOCAL GOVERNMENT AID	\$5,808.00	\$112,938.00	\$0.00	\$130,531.00	\$139,027.00	
R 101-41-350-33404 PERA AID	\$2,402.00	\$2,402.00	\$0.00	\$2,400.00	\$2,400.00	
R 101-41-350-33422 STATE GRANTS - CAPITAL	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
R 101-41-350-36210 INTEREST INCOME	\$4,234.63	\$8,354.03	\$17,302.21	\$5,000.00	\$10,000.00	
R 101-41-350-36230 CONTRIBUTIONS & DONAT	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
R 101-41-350-36250 MISCELLANEOUS	\$0.00	\$0.00	\$31.81	\$0.00	\$0.00	
R 101-41-350-39101 SALE OR LOSS OF PROPER	\$38.81	\$0.00	\$81.00	\$0.00	\$0.00	
R 101-41-350-39203 TRANSFER IN	\$91,939.00	\$180,984.00	\$0.00	\$96,335.00	\$98,743.00	Utility
R 101-41-350-39330 CAPITAL LEASE	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
R 101-41-350-39410 REFUNDS AND REIMBURSE	\$14,081.70	\$3,739.72	\$2,039.07	\$0.00	\$0.00	
R 101-41-414-34111 LICENSE VERIFICATION FE	\$490.00	\$440.00	\$470.00	\$450.00	\$450.00	
R 101-41-414-34112 BUILDING ADMIN FEE	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
R 101-41-414-34113 ADMINISTRATIVE FEES	\$0.00	\$0.00	\$0.00	\$300.00	\$0.00	TIF Admin
R 101-41-414-35104 ADMINISTRATIVE FINES	\$1,000.00	\$1,600.00	\$500.00	\$1,000.00	\$1,500.00	
R 101-41-414-36221 ADVERTISING/SIGN RENTA	\$13,575.99	\$21,481.58	\$12,617.97	\$12,000.00	\$18,000.00	
R 101-41-414-36250 MISCELLANEOUS	\$2,685.83	\$2,168.50	\$1,374.10	\$1,500.00	\$1,500.00	
R 101-41-414-36251 SHIPPING FEES	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
R 101-41-465-32287 OTHER PERMITS	\$3,949.85	\$3,997.00	\$2,477.00	\$3,000.00	\$4,000.00	Sign Permit
R 101-41-465-33632 OTHER GRANTS - OPERATI	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
R 101-41-465-34107 ASSESSMENT SEARCHES	\$2,730.00	\$2,355.00	\$1,815.00	\$3,000.00	\$2,500.00	
R 101-41-465-34110 LAND USE APPLICATION F	\$15,375.00	\$13,075.00	\$14,430.00	\$12,000.00	\$16,000.00	
DEPT 41 GENERAL GOVERNMENT	\$4,157,258.08	\$4,231,643.90	\$1,675,405.46	\$4,618,394.00	\$4,928,241.00	
DEPT 42 PUBLIC SAFETY						
R 101-42-421-32110 LIQUOR LICENSE	\$36,555.00	\$35,285.00	\$36,405.00	\$35,000.00	\$35,000.00	
R 101-42-421-32181 CIGARETTE LICENSE	\$3,281.25	\$3,600.00	\$3,862.50	\$3,500.00	\$3,500.00	
R 101-42-421-32187 OTHER LICENSE	\$42,738.00	\$44,974.00	\$44,155.10	\$44,000.00	\$44,000.00	Rental/Misc
R 101-42-421-33110 FEDERAL OPERATING GRA	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
R 101-42-421-33416 POLICE TRAINING REIMBU	\$5,795.04	\$5,608.47	\$324.00	\$6,000.00	\$6,000.00	
R 101-42-421-33421 STATE MUNICIPAL POLICE	\$114,608.63	\$129,471.74	\$0.00	\$114,000.00	\$120,000.00	
R 101-42-421-33425 SCHOOL LIAISON REIMBUR	\$98,929.94	\$102,697.15	\$28,411.63	\$102,426.00	\$112,631.00	
R 101-42-421-33426 GANG STRIKE FORCE REIM	\$0.00	\$0.00	\$0.00	\$35,876.00	\$0.00	GSF
R 101-42-421-33633 STATE GRANT - OPERATIN	\$6,211.12	\$10,313.15	\$6,296.83	\$29,000.00	\$0.00	GSF
R 101-42-421-34204 PUBLIC SAFETY OTHER - R	\$3,547.12	\$2,738.32	\$2,540.66	\$2,500.00	\$3,000.00	Reports/Servic
R 101-42-421-34950 OTHER CHARGES FOR SER	\$4,975.40	\$3,370.00	\$470.00	\$4,000.00	\$4,000.00	
R 101-42-421-35101 COURT FINES	\$55,421.51	\$59,976.91	\$22,714.06	\$55,000.00	\$59,000.00	
R 101-42-421-35102 TRAFFIC FINES	\$5,710.00	\$5,903.60	\$2,260.00	\$5,000.00	\$6,000.00	
R 101-42-421-35103 OTHER FINES	\$4,320.00	\$6,035.00	\$1,100.00	\$4,000.00	\$5,000.00	Tob/Alc/False
R 101-42-421-35104 ADMINISTRATIVE FINES	\$1,030.00	\$780.00	\$470.00	\$750.00	\$750.00	
R 101-42-421-36230 CONTRIBUTIONS & DONAT	\$1,357.50	\$0.00	\$0.00	\$0.00	\$0.00	
R 101-42-421-36232 CONTRIB & DONATIONS-K	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
R 101-42-421-36233 CONTRIB & DONATIONS-C	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
R 101-42-421-36235 CONTRIB & DONATIONS -	\$1,300.00	\$250.00	\$0.00	\$0.00	\$0.00	
R 101-42-421-36250 MISCELLANEOUS	\$1,125.66	\$534.57	\$195.50	\$0.00	\$0.00	
R 101-42-421-39410 REFUNDS AND REIMBURSE	\$0.00	\$100.00	\$0.00	\$0.00	\$0.00	
R 101-42-422-33415 FIRE TRAINING REIMBURS	\$5,105.00	\$4,102.93	\$3,643.00	\$5,000.00	\$4,000.00	
R 101-42-422-33424 STATE MUNICIPAL FIRE AI	\$90,583.65	\$87,045.42	\$0.00	\$70,000.00	\$87,000.00	

CITY OF SARTELL

Revenue Budget Worksheet-2016

Account Descr	2013 Amt	2014 Amt	2015 YTD Amt	2015 Budget	2016 Budget	Comment
R 101-42-422-33631 TOWNSHIP FIRE AGREEME	\$14,872.00	\$13,254.00	\$20,542.00	\$41,000.00	\$40,000.00	est 10%
R 101-42-422-33633 STATE GRANT - OPERATIN	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
R 101-42-422-33635 TOWNSHIP BLDG REIMB	\$5,877.00	\$5,111.80	\$0.00	\$4,000.00	\$4,000.00	
R 101-42-422-34201 PUBLIC SAFETY FIRE LOCK	\$730.00	\$1,315.00	\$700.00	\$1,000.00	\$1,000.00	
R 101-42-422-34202 PUBLIC SAFETY FIRE CALL	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
R 101-42-422-34204 PUBLIC SAFETY OTHER - R	\$0.00	\$10.00	\$0.00	\$0.00	\$0.00	
R 101-42-422-36223 MISC. RENTAL	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
R 101-42-422-39203 TRANSFER IN	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
R 101-42-422-39410 REFUNDS AND REIMBURSE	\$3,649.74	\$0.00	\$0.00	\$0.00	\$0.00	
R 101-42-424-32183 GENERAL CONTRACTOR LI	\$1,595.00	\$1,210.00	\$1,495.00	\$1,500.00	\$1,500.00	
R 101-42-424-32184 HVAC LICENSE	\$3,190.00	\$3,190.00	\$2,940.00	\$2,900.00	\$3,000.00	
R 101-42-424-32210 BUILDING PERMIT	\$256,979.09	\$169,299.22	\$93,175.50	\$260,000.00	\$265,000.00	
R 101-42-424-32211 ADDL INSPECTION FEES	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
R 101-42-424-32212 BLDG PLAN REVIEW FEES	\$116,356.01	\$58,443.69	\$40,594.66	\$110,000.00	\$115,000.00	
R 101-42-424-32215 FIRE INSP/PERMITS/REVIE	\$14,211.92	\$5,901.72	\$3,190.31	\$9,000.00	\$9,000.00	
R 101-42-424-32220 MECHANICAL PERMIT	\$46,752.26	\$38,558.25	\$6,860.71	\$35,000.00	\$45,000.00	
R 101-42-424-32230 PLUMBING PERMIT	\$41,154.86	\$25,669.87	\$14,184.54	\$35,000.00	\$40,000.00	
R 101-42-424-32260 ELECTRICAL PERMIT	\$37,165.50	\$37,411.25	\$17,512.00	\$35,000.00	\$37,000.00	
R 101-42-424-32287 OTHER PERMITS	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
R 101-42-427-32240 ANIMAL LICENSE	\$18,115.00	\$17,136.00	\$14,330.00	\$17,000.00	\$15,000.00	
R 101-42-427-34950 OTHER CHARGES FOR SER	\$750.00	\$825.00	\$635.00	\$1,000.00	\$1,000.00	
DEPT 42 PUBLIC SAFETY	\$1,043,993.20	\$880,122.06	\$369,008.00	\$1,068,452.00	\$1,066,381.00	
DEPT 43 PUBLIC WORKS						
R 101-43-434-32182 REFUSE LICENSE	\$4,500.00	\$4,500.00	\$4,600.00	\$4,500.00	\$4,500.00	
R 101-43-434-32185 CABLE FRANCHISE LICENS	\$210,878.14	\$216,210.19	\$53,674.27	\$205,000.00	\$215,000.00	
R 101-43-434-32186 UTILITY FRANCHISE LICEN	\$234,065.62	\$240,963.08	\$74,770.01	\$230,000.00	\$240,000.00	
R 101-43-434-32187 OTHER LICENSE	\$450.00	\$615.00	\$365.00	\$0.00	\$0.00	
R 101-43-434-32270 STREET EXCAVATION PER	\$4,885.00	\$6,010.00	\$2,170.00	\$4,000.00	\$5,000.00	
R 101-43-434-33422 STATE GRANTS - CAPITAL	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
R 101-43-434-33630 COUNTY MAINTENANCE A	\$17,497.48	\$23,791.93	\$6,870.00	\$17,497.00	\$23,000.00	
R 101-43-434-33632 OTHER GRANTS - OPERATI	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
R 101-43-434-34104 LAND DISTURBANCE PERM	\$4,230.00	\$3,925.00	\$1,450.00	\$2,500.00	\$4,000.00	
R 101-43-434-34300 STREET SWEEPING/SANDI	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
R 101-43-434-34303 PUBLIC WORKS-MAINTANC	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
R 101-43-434-36223 MISC. RENTAL	\$1,639.00	\$1,688.00	\$0.00	\$0.00	\$0.00	
R 101-43-434-36230 CONTRIBUTIONS & DONAT	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
R 101-43-434-36250 MISCELLANEOUS	\$10.00	\$79.20	\$684.75	\$0.00	\$0.00	
R 101-43-434-39410 REFUNDS AND REIMBURSE	\$3,065.95	\$8,837.28	\$0.00	\$0.00	\$0.00	
R 101-43-436-32280 COMPOST SITE PERMIT	\$64,182.00	\$65,654.00	\$61,717.30	\$64,000.00	\$66,000.00	
R 101-43-436-36250 MISCELLANEOUS	\$3,976.01	\$6.25	\$240.00	\$0.00	\$0.00	
DEPT 43 PUBLIC WORKS	\$549,379.20	\$572,279.93	\$206,541.33	\$527,497.00	\$557,500.00	
DEPT 45 CULTURE & RECREATION						
R 101-45-452-36220 PARK RENTAL	\$3,353.63	\$3,192.86	\$2,420.00	\$3,000.00	\$3,000.00	
R 101-45-453-36250 MISCELLANEOUS	\$0.00	\$30.00	\$0.00	\$0.00	\$0.00	
DEPT 45 CULTURE & RECREATION	\$3,353.63	\$3,222.86	\$2,420.00	\$3,000.00	\$3,000.00	
FUND 101 GENERAL	\$5,753,984.11	\$5,687,268.75	\$2,253,374.79	\$6,217,343.00	\$6,555,122.00	

CITY OF SARTELL
Expenditure Budget Worksheet-2016

Budget Line Items	2013 Amt	2014 Amt	2015 YTD Amt	2015 Budget	2016 Budget	Comment
FUND 101 GENERAL						
DEPT 41 GENERAL GOVERNMENT						
DIV 411 COUNCILMEMBERS						
E 101-41-411-106 REGULAR MEETING S	\$20,799.84	\$20,799.84	\$10,399.92	\$20,800.00	\$20,800.00	
E 101-41-411-107 SPECIAL MEETING SA	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
E 101-41-411-108 OTHER MEETING SAL	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
E 101-41-411-121 EMPLOYER CONTRIB	\$1,040.16	\$1,040.16	\$390.06	\$1,300.00	\$1,300.00	
E 101-41-411-122 EMPLOYER CONTRIB	\$301.44	\$301.44	\$311.94	\$1,200.00	\$800.00	
E 101-41-411-150 WORKERS COMPENS	\$1,041.25	\$914.55	\$0.00	\$1,500.00	\$1,200.00	Inc Volunte
E 101-41-411-200 OFFICE SUPPLIES	\$32.18	\$10.73	\$7.07	\$100.00	\$100.00	
E 101-41-411-330 TRANSPORTATION/L	\$989.87	\$311.00	\$70.00	\$2,700.00	\$2,000.00	
E 101-41-411-350 PUBLICATIONS	\$3,275.84	\$3,353.56	\$2,539.30	\$3,500.00	\$3,700.00	
E 101-41-411-360 COMP LIAB INSURAN	\$1,646.61	\$2,127.52	\$0.00	\$3,000.00	\$2,500.00	
E 101-41-411-430 MISCELLANEOUS	\$540.49	\$75.00	\$0.00	\$300.00	\$500.00	
E 101-41-411-434 DUES & SUBSCRIPTI	\$49,399.95	\$53,641.00	\$34,471.50	\$55,667.00	\$57,000.00	Schedule A
E 101-41-411-439 CONTRIBUTIONS	\$8,418.00	\$9,818.00	\$7,568.00	\$9,818.00	\$9,818.00	Schedule B
DIV 411 COUNCILMEMBERS	\$87,485.63	\$92,392.80	\$55,757.79	\$99,885.00	\$99,718.00	
DIV 413 MAYOR						
E 101-41-413-106 REGULAR MEETING S	\$7,500.00	\$7,500.00	\$3,750.00	\$7,500.00	\$7,500.00	
E 101-41-413-107 SPECIAL MEETING SA	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
E 101-41-413-108 OTHER MEETING SAL	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
E 101-41-413-121 EMPLOYER CONTRIB	\$375.00	\$375.00	\$187.50	\$500.00	\$500.00	
E 101-41-413-122 EMPLOYER CONTRIB	\$108.72	\$108.72	\$54.36	\$400.00	\$200.00	
E 101-41-413-150 WORKERS COMPENS	\$46.25	\$38.55	\$0.00	\$50.00	\$50.00	
E 101-41-413-200 OFFICE SUPPLIES	\$38.00	\$0.00	\$7.08	\$100.00	\$100.00	
E 101-41-413-330 TRANSPORTATION/L	\$1,523.13	\$214.45	\$1,546.60	\$2,300.00	\$2,300.00	
E 101-41-413-360 COMP LIAB INSURAN	\$433.26	\$437.92	\$0.00	\$500.00	\$500.00	
E 101-41-413-430 MISCELLANEOUS	\$30.00	\$0.00	\$7.20	\$100.00	\$100.00	
E 101-41-413-434 DUES & SUBSCRIPTI	\$0.00	\$0.00	\$30.00	\$0.00	\$0.00	
DIV 413 MAYOR	\$10,054.36	\$8,674.64	\$5,582.74	\$11,450.00	\$11,250.00	
DIV 414 ADMINISTRATION						
E 101-41-414-101 REGULAR WAGES & S	\$265,437.87	\$208,537.40	\$106,170.40	\$211,446.00	\$218,629.00	
E 101-41-414-102 OVERTIME WAGES	\$0.00	\$1,798.60	\$0.00	\$0.00	\$0.00	
E 101-41-414-103 PART-TIME WAGES	\$0.00	\$0.00	\$0.00	\$24,000.00	\$0.00	
E 101-41-414-104 TEMPORARY WAGES	\$0.00	\$2,422.28	\$6,096.83	\$0.00	\$2,500.00	
E 101-41-414-121 EMPLOYER CONTRIB	\$20,268.87	\$15,169.57	\$10,558.43	\$18,000.00	\$22,200.00	
E 101-41-414-122 EMPLOYER CONTRIB	\$18,049.38	\$14,716.30	\$7,983.75	\$18,500.00	\$17,200.00	
E 101-41-414-130 EMPLOYEE BENEFIT-I	\$38,025.83	\$38,481.95	\$20,499.29	\$44,500.00	\$37,500.00	
E 101-41-414-131 BENEFIT PLAN ADMI	\$288.00	\$1,289.00	\$1,371.12	\$1,500.00	\$1,500.00	
E 101-41-414-150 WORKERS COMPENS	\$2,289.42	\$2,129.07	\$0.00	\$2,300.00	\$2,400.00	
E 101-41-414-170 CLOTHING ALLOWAN	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
E 101-41-414-200 OFFICE SUPPLIES	\$5,031.34	\$5,370.10	\$3,019.02	\$5,500.00	\$6,000.00	
E 101-41-414-202 BANK & WIRE FEES	\$0.00	\$637.80	\$2,852.30	\$0.00	\$6,000.00	
E 101-41-414-203 SOFTWARE/SUPPORT	\$3,029.93	\$5,838.25	\$7,219.00	\$10,000.00	\$10,000.00	
E 101-41-414-210 SUPPLIES/MATERIAL	\$1,101.06	\$2,701.30	\$874.64	\$1,500.00	\$1,700.00	
E 101-41-414-240 SMALL TOOLS	\$2.00	\$438.34	\$0.00	\$500.00	\$500.00	
E 101-41-414-303 ENGINEERING	\$0.00	\$73.50	\$0.00	\$0.00	\$0.00	
E 101-41-414-305 CONSULTANTS-OTHE	\$350.00	\$733.30	\$2,500.00	\$0.00	\$0.00	
E 101-41-414-308 LEGAL	\$26,277.47	\$29,879.23	\$6,172.50	\$20,000.00	\$15,000.00	
E 101-41-414-309 ASSESSING	\$41,211.78	\$41,140.50	\$20,542.50	\$42,500.00	\$41,000.00	
E 101-41-414-310 AUDITING	\$17,100.00	\$20,120.00	\$20,100.00	\$20,100.00	\$20,100.00	Schedule C

CITY OF SARTELL

Expenditure Budget Worksheet-2016

Budget Line Items	2013 Amt	2014 Amt	2015 YTD Amt	2015 Budget	2016 Budget	Comment
E 101-41-414-320 COMMUNICATIONS/T	\$4,408.76	\$2,639.38	\$1,487.21	\$3,500.00	\$3,500.00	
E 101-41-414-322 POSTAGE	\$5,151.41	\$6,131.16	\$2,632.31	\$6,500.00	\$6,500.00	
E 101-41-414-330 TRANSPORTATION/L	\$3,091.42	\$1,346.64	\$514.65	\$3,000.00	\$2,500.00	
E 101-41-414-340 TRAINING	\$1,675.00	\$1,260.00	\$30.00	\$2,000.00	\$2,000.00	
E 101-41-414-354 PRINTING AND BIND	\$759.42	\$323.78	\$0.00	\$1,000.00	\$750.00	
E 101-41-414-360 COMP LIAB INSURAN	\$3,453.48	\$2,408.01	\$59.84	\$3,500.00	\$3,500.00	
E 101-41-414-381 UTILITY ELECTRICIT	\$14,787.00	\$11,642.10	\$2,565.90	\$15,000.00	\$13,500.00	
E 101-41-414-383 UTILITY GAS	\$7,815.86	\$8,665.24	\$1,865.30	\$9,000.00	\$9,000.00	
E 101-41-414-384 REFUSE	\$1,498.51	\$1,868.14	\$812.80	\$1,500.00	\$2,000.00	
E 101-41-414-401 R & M - OTHER	\$0.89	\$0.00	\$0.00	\$500.00	\$500.00	
E 101-41-414-404 R & M- EQUIPMENT	\$821.57	\$1,183.90	\$353.94	\$1,000.00	\$1,200.00	
E 101-41-414-406 R & M - BLDG	\$9,976.24	\$17,073.78	\$7,929.06	\$11,000.00	\$13,000.00	
E 101-41-414-409 CONTRACTED CLEAN	\$2,139.46	\$2,286.48	\$1,088.56	\$2,500.00	\$3,000.00	
E 101-41-414-414 LEASES-EQUIPMENT	\$7,354.44	\$6,755.28	\$3,407.09	\$7,700.00	\$7,900.00	
E 101-41-414-430 MISCELLANEOUS	\$1,660.33	\$1,640.93	\$196.58	\$1,600.00	\$1,700.00	
E 101-41-414-434 DUES & SUBSCRIPTI	\$35.00	\$461.50	\$317.00	\$1,000.00	\$1,000.00	
E 101-41-414-440 REQUIRED RESERVE/	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
E 101-41-414-515 JUDGEMENTS & LOSS	\$0.00	\$1,000.00	\$0.00	\$0.00	\$0.00	
E 101-41-414-525 REFUND & REIMBUR	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
DIV 414 ADMINISTRATION	\$503,091.74	\$458,162.81	\$239,220.02	\$490,646.00	\$473,779.00	
DIV 417 ELECTIONS						
E 101-41-417-104 TEMPORARY WAGES	\$0.00	\$16,085.50	\$0.00	\$0.00	\$17,000.00	
E 101-41-417-121 EMPLOYER CONTRIB	\$0.00	\$38.72	\$0.00	\$0.00	\$100.00	
E 101-41-417-122 EMPLOYER CONTRIB	\$0.00	\$37.98	\$0.00	\$0.00	\$100.00	
E 101-41-417-210 SUPPLIES/MATERIAL	\$0.00	\$1,304.44	\$0.00	\$0.00	\$1,500.00	
E 101-41-417-330 TRANSPORTATION/L	\$0.00	\$945.55	\$0.00	\$0.00	\$1,200.00	
E 101-41-417-350 PUBLICATIONS	\$0.00	\$1,757.63	\$0.00	\$0.00	\$2,000.00	
E 101-41-417-401 R & M - OTHER	\$1,936.72	\$2,767.31	\$2,721.88	\$2,000.00	\$3,000.00	Maint Cont
E 101-41-417-430 MISCELLANEOUS	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
E 101-41-417-500 CAPITAL OUTLAY	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
DIV 417 ELECTIONS	\$1,936.72	\$22,937.13	\$2,721.88	\$2,000.00	\$24,900.00	
DIV 465 COMMUNITY DEVELOPMENT						
E 101-41-465-101 REGULAR WAGES & S	\$119,636.40	\$115,152.52	\$57,666.56	\$134,333.00	\$128,600.00	
E 101-41-465-102 OVERTIME WAGES	\$113.63	\$246.25	\$0.00	\$250.00	\$250.00	
E 101-41-465-103 PART-TIME WAGES	\$0.00	\$4,431.00	\$1,738.64	\$0.00	\$0.00	
E 101-41-465-106 REGULAR MEETING S	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
E 101-41-465-121 EMPLOYER CONTRIB	\$8,644.19	\$8,268.95	\$4,324.99	\$10,200.00	\$10,000.00	
E 101-41-465-122 EMPLOYER CONTRIB	\$9,065.05	\$8,893.92	\$4,430.41	\$10,300.00	\$9,900.00	
E 101-41-465-130 EMPLOYEE BENEFIT-I	\$9,969.38	\$15,805.75	\$5,735.33	\$19,000.00	\$13,000.00	
E 101-41-465-150 WORKERS COMPENS	\$457.68	\$426.21	\$0.00	\$500.00	\$600.00	
E 101-41-465-200 OFFICE SUPPLIES	\$394.50	\$322.86	\$249.90	\$1,000.00	\$1,000.00	
E 101-41-465-240 SMALL TOOLS	\$77.75	\$0.00	\$0.00	\$0.00	\$100.00	
E 101-41-465-303 ENGINEERING	\$16,754.50	\$17,579.75	\$7,126.25	\$10,000.00	\$10,000.00	Land Use Ap
E 101-41-465-305 CONSULTANTS-OTHE	\$100.94	\$2,019.50	\$1,290.00	\$5,000.00	\$0.00	Ords, GIS, e
E 101-41-465-307 SPECIAL STUDIES	\$0.00	\$12,213.91	\$0.00	\$0.00	\$0.00	
E 101-41-465-308 LEGAL	\$218.60	\$0.00	\$0.00	\$5,000.00	\$0.00	
E 101-41-465-320 COMMUNICATIONS/T	\$495.90	\$1,717.30	\$820.58	\$1,600.00	\$1,900.00	
E 101-41-465-322 POSTAGE	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
E 101-41-465-330 TRANSPORTATION/L	\$2,124.73	\$1,949.13	\$1,224.89	\$2,500.00	\$2,500.00	
E 101-41-465-340 TRAINING	\$1,172.00	\$985.00	\$1,079.00	\$3,000.00	\$3,000.00	
E 101-41-465-350 PUBLICATIONS	\$1,491.61	\$1,774.29	\$1,170.50	\$1,500.00	\$2,000.00	
E 101-41-465-351 RECORDING FEES	\$276.00	\$368.00	\$0.00	\$500.00	\$500.00	

CITY OF SARTELL

Expenditure Budget Worksheet-2016

Budget Line Items	2013 Amt	2014 Amt	2015 YTD Amt	2015 Budget	2016 Budget	Comment
E 101-41-465-360 COMP LIAB INSURAN	\$8,342.98	\$17,307.62	\$0.00	\$15,000.00	\$17,500.00	
E 101-41-465-401 R & M - OTHER	\$0.00	\$721.90	\$0.00	\$500.00	\$750.00	
E 101-41-465-430 MISCELLANEOUS	\$0.00	\$117.96	\$29.14	\$500.00	\$500.00	
E 101-41-465-434 DUES & SUBSCRIPTI	\$1,100.00	\$681.22	\$172.94	\$1,400.00	\$1,400.00	
DIV 465 COMMUNITY DEVELOPM	\$180,435.84	\$210,983.04	\$87,059.13	\$222,083.00	\$203,500.00	
DEPT 41 GENERAL GOVERNMENT	\$783,004.29	\$793,150.42	\$390,341.56	\$826,064.00	\$813,147.00	
DEPT 42 PUBLIC SAFETY						
DIV 421 POLICE						
E 101-42-421-101 REGULAR WAGES & S	\$1,008,773.42	\$1,006,276.86	\$546,222.64	\$1,188,780.00	\$1,315,500.00	Adds CSO
E 101-42-421-102 OVERTIME WAGES	\$15,351.76	\$36,487.75	\$15,397.17	\$18,000.00	\$20,000.00	
E 101-42-421-103 PART-TIME WAGES	\$38,209.14	\$7,146.88	\$3,600.48	\$7,500.00	\$8,100.00	PT Clerk
E 101-42-421-104 TEMPORARY WAGES	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
E 101-42-421-109 POLICE-HOLIDAY WA	\$38,746.57	\$39,821.95	\$7,223.40	\$43,000.00	\$46,000.00	
E 101-42-421-111 SALARIES-GRANTS	\$8,474.65	\$10,566.10	\$3,865.40	\$0.00	\$0.00	
E 101-42-421-121 EMPLOYER CONTRIB	\$152,707.31	\$159,592.00	\$88,152.93	\$195,990.00	\$220,000.00	
E 101-42-421-122 EMPLOYER CONTRIB	\$19,976.22	\$20,004.59	\$11,092.49	\$26,238.00	\$28,900.00	
E 101-42-421-130 EMPLOYEE BENEFIT-I	\$172,410.39	\$183,130.27	\$107,653.10	\$233,321.00	\$238,000.00	
E 101-42-421-135 MEDICAL	\$0.00	\$0.00	\$378.45	\$0.00	\$0.00	
E 101-42-421-142 UNEMPLOYMENT	\$0.00	\$424.90	\$0.00	\$0.00	\$0.00	
E 101-42-421-150 WORKERS COMPENS	\$41,143.14	\$42,872.32	\$0.00	\$47,500.00	\$48,000.00	
E 101-42-421-170 CLOTHING ALLOWAN	\$15,620.95	\$21,511.82	\$10,825.59	\$28,000.00	\$29,000.00	
E 101-42-421-200 OFFICE SUPPLIES	\$4,178.81	\$2,748.53	\$2,106.36	\$5,700.00	\$5,000.00	
E 101-42-421-204 STATE SHARE OF AD	\$500.00	\$240.00	\$120.00	\$500.00	\$500.00	
E 101-42-421-210 SUPPLIES/MATERIAL	\$7,840.32	\$8,847.28	\$6,212.13	\$8,000.00	\$9,000.00	
E 101-42-421-211 SAFETY SUPPLIES/OS	\$1,504.92	\$507.45	\$2,170.77	\$1,900.00	\$1,900.00	
E 101-42-421-212 FUELS	\$56,829.85	\$42,996.27	\$12,395.45	\$54,000.00	\$65,000.00	
E 101-42-421-240 SMALL TOOLS	\$1,015.26	\$1,977.24	\$1,069.27	\$2,500.00	\$2,500.00	
E 101-42-421-305 CONSULTANTS-OTHE	\$2,547.35	\$4,447.00	\$1,768.55	\$2,500.00	\$3,500.00	Transcriptio
E 101-42-421-306 INFORMATION SERVI	\$27,814.55	\$36,052.11	\$3,549.50	\$32,000.00	\$34,000.00	
E 101-42-421-308 LEGAL	\$40,036.25	\$40,943.94	\$20,000.00	\$45,000.00	\$45,000.00	SC Contract
E 101-42-421-320 COMMUNICATIONS/T	\$13,238.86	\$16,156.62	\$7,070.02	\$15,000.00	\$17,000.00	
E 101-42-421-322 POSTAGE	\$2,897.48	\$3,023.48	\$1,277.61	\$2,500.00	\$3,000.00	
E 101-42-421-330 TRANSPORTATION/L	\$2,077.31	\$5,264.40	\$3,040.68	\$3,200.00	\$4,000.00	
E 101-42-421-340 TRAINING	\$13,874.55	\$5,703.15	\$8,209.64	\$17,000.00	\$17,000.00	
E 101-42-421-350 PUBLICATIONS	\$0.00	\$698.88	\$1,083.37	\$1,000.00	\$1,000.00	
E 101-42-421-360 COMP LIAB INSURAN	\$23,469.78	\$32,717.45	\$0.00	\$35,000.00	\$35,500.00	
E 101-42-421-381 UTILITY ELECTRICIT	\$8,848.99	\$8,592.58	\$2,235.04	\$8,950.00	\$9,000.00	
E 101-42-421-383 UTILITY GAS	\$4,737.48	\$6,615.29	\$1,783.51	\$5,700.00	\$6,000.00	
E 101-42-421-384 REFUSE	\$2,176.10	\$2,557.32	\$1,123.92	\$1,600.00	\$2,500.00	
E 101-42-421-401 R & M - OTHER	\$1,001.17	\$3,088.68	\$424.79	\$0.00	\$1,000.00	
E 101-42-421-404 R & M- EQUIPMENT	\$2,807.46	\$1,679.24	\$116.27	\$3,400.00	\$3,000.00	
E 101-42-421-405 R & M - VEHICLES	\$15,672.95	\$17,303.72	\$2,537.10	\$14,350.00	\$15,000.00	
E 101-42-421-406 R & M - BLDG	\$10,140.19	\$12,191.48	\$909.03	\$8,000.00	\$9,000.00	
E 101-42-421-409 CONTRACTED CLEAN	\$6,535.99	\$5,865.00	\$2,515.00	\$6,000.00	\$6,800.00	
E 101-42-421-413 RENTALS	\$710.08	\$615.58	\$160.80	\$750.00	\$750.00	Oxy Cylinder
E 101-42-421-414 LEASES-EQUIPMENT	\$6,608.56	\$5,916.02	\$3,228.68	\$5,750.00	\$6,000.00	
E 101-42-421-430 MISCELLANEOUS	\$853.46	\$1,179.55	\$390.98	\$1,500.00	\$1,500.00	
E 101-42-421-431 POLICE RESERVES	\$1,668.27	\$452.89	\$0.00	\$1,350.00	\$1,500.00	
E 101-42-421-432 GROUP CONFERENCI	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
E 101-42-421-433 FORFEITURE EQUIPM	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
E 101-42-421-434 DUES & SUBSCRIPTI	\$1,134.00	\$1,933.50	\$1,408.00	\$1,600.00	\$1,800.00	
E 101-42-421-435 CRIME PREVENTION-	\$456.29	\$1,366.28	\$0.00	\$1,000.00	\$1,200.00	

CITY OF SARTELL

Expenditure Budget Worksheet-2016

Budget Line Items	2013 Amt	2014 Amt	2015 YTD Amt	2015 Budget	2016 Budget	Comment
E 101-42-421-436 SPECIAL PROJECTS	\$0.00	\$0.00	\$0.00	\$0.00	\$22,000.00	
E 101-42-421-439 CONTRIBUTIONS	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
E 101-42-421-515 JUDGEMENTS & LOSS	\$0.00	\$0.00	\$1,000.00	\$1,000.00	\$0.00	Deductible
E 101-42-421-550 CAP OUTLAY-EQUIP	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
E 101-42-421-720 TRANSFER OUT	\$17,771.81	\$25,468.82	\$0.00	\$3,000.00	\$3,000.00	Youth Fund
DIV 421 POLICE	\$1,790,361.64	\$1,824,985.19	\$882,318.12	\$2,078,079.00	\$2,287,450.00	
DIV 422 FIRE						
E 101-42-422-101 REGULAR WAGES & S	\$85,623.22	\$72,757.47	\$48,146.30	\$87,000.00	\$88,000.00	
E 101-42-422-102 OVERTIME WAGES	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
E 101-42-422-103 PART-TIME WAGES	\$1,117.69	\$1,302.17	\$481.06	\$1,400.00	\$0.00	Cleaning co
E 101-42-422-122 EMPLOYER CONTRIB	\$6,635.53	\$5,665.44	\$3,720.03	\$7,200.00	\$7,000.00	
E 101-42-422-127 FIRE RELIEF CONTRI	\$7,800.00	\$9,800.00	\$0.00	\$10,000.00	\$10,200.00	
E 101-42-422-128 FIRE STATE AID PAS	\$90,583.65	\$87,045.42	\$0.00	\$70,000.00	\$87,000.00	Revenue off
E 101-42-422-135 MEDICAL	\$445.00	\$1,609.50	\$586.00	\$3,800.00	\$2,000.00	Annual & Ne
E 101-42-422-150 WORKERS COMPENS	\$24,191.70	\$29,343.88	\$0.00	\$34,000.00	\$33,000.00	
E 101-42-422-170 CLOTHING ALLOWAN	\$13,251.93	\$7,499.69	\$1,397.81	\$13,000.00	\$13,000.00	Turnout&Cla
E 101-42-422-200 OFFICE SUPPLIES	\$33.82	\$507.87	\$218.43	\$500.00	\$500.00	
E 101-42-422-203 SOFTWARE/SUPPORT	\$1,489.19	\$1,505.00	\$1,035.00	\$1,600.00	\$1,600.00	
E 101-42-422-210 SUPPLIES/MATERIAL	\$6,687.41	\$3,802.82	\$7,094.68	\$8,000.00	\$7,000.00	
E 101-42-422-211 SAFETY SUPPLIES/OS	\$56.75	\$850.00	\$746.39	\$1,000.00	\$1,000.00	
E 101-42-422-212 FUELS	\$6,564.32	\$4,511.28	\$1,371.43	\$7,000.00	\$7,000.00	
E 101-42-422-240 SMALL TOOLS	\$3,554.22	\$4,784.81	\$933.75	\$3,000.00	\$5,000.00	
E 101-42-422-305 CONSULTANTS-OTHE	\$0.00	\$142.50	\$0.00	\$0.00	\$0.00	
E 101-42-422-310 AUDITING	\$500.00	\$500.00	\$800.00	\$800.00	\$800.00	
E 101-42-422-320 COMMUNICATIONS/T	\$5,485.72	\$5,256.77	\$1,974.62	\$6,200.00	\$6,000.00	
E 101-42-422-322 POSTAGE	\$0.00	\$0.00	\$0.00	\$50.00	\$0.00	
E 101-42-422-330 TRANSPORTATION/L	\$1,476.88	\$1,428.66	\$480.13	\$4,000.00	\$3,500.00	
E 101-42-422-340 TRAINING	\$3,190.00	\$4,930.00	\$6,100.00	\$6,000.00	\$6,000.00	
E 101-42-422-350 PUBLICATIONS	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
E 101-42-422-360 COMP LIAB INSURAN	\$14,955.19	\$12,818.15	\$11.00	\$15,000.00	\$15,500.00	
E 101-42-422-381 UTILITY ELECTRICIT	\$4,866.35	\$4,754.85	\$1,210.45	\$5,000.00	\$5,000.00	
E 101-42-422-383 UTILITY GAS	\$3,597.11	\$6,573.46	\$2,123.52	\$4,800.00	\$6,000.00	
E 101-42-422-384 REFUSE	\$399.96	\$399.96	\$217.99	\$500.00	\$500.00	
E 101-42-422-401 R & M - OTHER	\$37.02	\$1,147.24	\$131.88	\$500.00	\$500.00	
E 101-42-422-404 R & M- EQUIPMENT	\$8,744.65	\$15,570.89	\$7,446.04	\$11,550.00	\$15,000.00	Hoses&Testi
E 101-42-422-405 R & M - VEHICLES	\$21,152.91	\$17,997.28	\$2,431.96	\$22,000.00	\$22,000.00	
E 101-42-422-406 R & M - BLDG	\$7,763.54	\$8,195.23	\$4,673.30	\$7,000.00	\$8,000.00	
E 101-42-422-409 CONTRACTED CLEAN	\$0.00	\$0.00	\$70.00	\$0.00	\$1,500.00	
E 101-42-422-413 RENTALS	\$338.61	\$321.60	\$107.20	\$450.00	\$500.00	Cylinders
E 101-42-422-414 LEASES-EQUIPMENT	\$1,185.48	\$1,104.00	\$460.00	\$1,400.00	\$1,400.00	
E 101-42-422-429 FIRE PREVENTION S	\$1,636.00	\$1,250.13	\$0.00	\$1,500.00	\$1,500.00	
E 101-42-422-430 MISCELLANEOUS	\$4.00	\$254.00	\$170.00	\$250.00	\$250.00	
E 101-42-422-434 DUES & SUBSCRIPTI	\$829.00	\$1,142.00	\$857.00	\$1,000.00	\$1,200.00	
E 101-42-422-500 CAPITAL OUTLAY	\$18,454.51	\$0.00	\$0.00	\$5,500.00	\$5,500.00	Laptops
E 101-42-422-515 JUDGEMENTS & LOSS	\$848.65	\$0.00	\$0.00	\$1,000.00	\$0.00	Deductible
E 101-42-422-550 CAP OUTLAY-EQUIP	\$0.00	\$2,368.00	\$4,787.32	\$4,700.00	\$8,000.00	Misc equip
DIV 422 FIRE	\$343,500.01	\$317,140.07	\$99,783.29	\$346,700.00	\$370,950.00	
DIV 424 BUILDING & INSPECTIONS						
E 101-42-424-101 REGULAR WAGES & S	\$160,484.48	\$172,796.00	\$89,704.80	\$181,000.00	\$185,500.00	
E 101-42-424-102 OVERTIME WAGES	\$3,201.99	\$3,504.63	\$1,198.80	\$3,000.00	\$3,000.00	
E 101-42-424-103 PART-TIME WAGES	\$0.00	\$1,050.00	\$120.00	\$2,400.00	\$2,400.00	
E 101-42-424-104 TEMPORARY WAGES	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	

CITY OF SARTELL

Expenditure Budget Worksheet-2016

Budget Line Items	2013 Amt	2014 Amt	2015 YTD Amt	2015 Budget	2016 Budget	Comment
E 101-42-424-121 EMPLOYER CONTRIB	\$11,870.61	\$12,795.41	\$6,817.77	\$14,000.00	\$14,800.00	
E 101-42-424-122 EMPLOYER CONTRIB	\$11,945.39	\$13,138.64	\$7,034.49	\$14,500.00	\$15,000.00	
E 101-42-424-130 EMPLOYEE BENEFIT-I	\$27,456.56	\$26,326.43	\$12,493.10	\$33,500.00	\$24,500.00	
E 101-42-424-142 UNEMPLOYMENT	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
E 101-42-424-150 WORKERS COMPENS	\$704.50	\$1,067.12	\$0.00	\$1,200.00	\$1,200.00	
E 101-42-424-170 CLOTHING ALLOWAN	\$296.08	\$355.24	\$134.76	\$700.00	\$500.00	
E 101-42-424-200 OFFICE SUPPLIES	\$1,750.53	\$604.67	\$310.75	\$1,400.00	\$1,500.00	
E 101-42-424-203 SOFTWARE/SUPPORT	\$1,032.03	\$570.00	\$0.00	\$3,500.00	\$1,000.00	
E 101-42-424-210 SUPPLIES/MATERIAL	\$1,571.81	\$1,963.17	\$2,193.20	\$3,000.00	\$2,500.00	Lock boxes,
E 101-42-424-212 FUELS	\$2,968.83	\$2,914.69	\$793.02	\$3,500.00	\$3,500.00	
E 101-42-424-240 SMALL TOOLS	\$459.54	\$121.43	\$0.00	\$900.00	\$500.00	
E 101-42-424-305 CONSULTANTS-OTHE	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
E 101-42-424-313 FIRE PLAN REVIEW F	\$1,953.46	\$0.00	\$0.00	\$5,000.00	\$3,000.00	
E 101-42-424-320 COMMUNICATIONS/T	\$3,224.68	\$2,671.74	\$1,240.85	\$3,500.00	\$3,500.00	
E 101-42-424-330 TRANSPORTATION/L	\$1,040.53	\$871.36	\$706.11	\$1,500.00	\$1,500.00	
E 101-42-424-332 BUILDING INSPECTI	\$21,595.00	\$22,700.00	\$9,995.00	\$15,000.00	\$25,000.00	Contract Ins
E 101-42-424-336 ELECTRICAL INSPECT	\$33,319.97	\$32,920.72	\$9,480.05	\$25,500.00	\$31,450.00	85%
E 101-42-424-340 TRAINING	\$2,630.00	\$3,674.00	\$557.00	\$3,500.00	\$3,600.00	
E 101-42-424-350 PUBLICATIONS	\$0.00	\$0.00	\$0.00	\$500.00	\$500.00	
E 101-42-424-360 COMP LIAB INSURAN	\$1,723.69	\$908.73	\$0.00	\$1,500.00	\$1,500.00	
E 101-42-424-404 R & M- EQUIPMENT	\$946.12	\$0.00	\$0.00	\$1,000.00	\$1,000.00	
E 101-42-424-405 R & M - VEHICLES	\$1,329.33	\$1,867.73	\$423.28	\$1,000.00	\$1,500.00	
E 101-42-424-430 MISCELLANEOUS	\$6.40	\$0.00	\$0.00	\$500.00	\$500.00	
E 101-42-424-434 DUES & SUBSCRIPTI	\$1,290.50	\$1,565.50	\$385.00	\$1,500.00	\$1,600.00	ICC, AMBO
E 101-42-424-550 CAP OUTLAY-EQUIP	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
DIV 424 BUILDING & INSPECTIO	\$292,802.03	\$304,387.21	\$143,587.98	\$322,600.00	\$330,550.00	
DIV 425 EMERGENCY MANAGEMENT						
E 101-42-425-200 OFFICE SUPPLIES	\$131.27	\$134.07	\$0.00	\$135.00	\$150.00	
E 101-42-425-305 CONSULTANTS-OTHE	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
E 101-42-425-330 TRANSPORTATION/L	\$828.00	\$0.00	\$299.19	\$1,000.00	\$900.00	
E 101-42-425-340 TRAINING	\$0.00	\$0.00	\$0.00	\$1,000.00	\$500.00	
E 101-42-425-381 UTILITY ELECTRICIT	\$1,484.45	\$2,599.21	\$1,063.49	\$1,600.00	\$2,750.00	
E 101-42-425-401 R & M - OTHER	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
E 101-42-425-404 R & M- EQUIPMENT	\$1,146.46	\$148.25	\$1,250.59	\$1,500.00	\$1,000.00	
E 101-42-425-430 MISCELLANEOUS	\$0.00	\$184.13	\$0.00	\$200.00	\$200.00	
E 101-42-425-434 DUES & SUBSCRIPTI	\$200.00	\$200.00	\$0.00	\$250.00	\$250.00	
DIV 425 EMERGENCY MANAGEME	\$3,790.18	\$3,265.66	\$2,613.27	\$5,685.00	\$5,750.00	
DIV 427 ANIMAL CONTROL						
E 101-42-427-102 OVERTIME WAGES	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
E 101-42-427-210 SUPPLIES/MATERIAL	\$1,362.42	\$1,942.69	\$233.50	\$4,000.00	\$3,500.00	Mutt mitts
E 101-42-427-305 CONSULTANTS-OTHE	\$2,087.00	\$845.00	\$0.00	\$3,000.00	\$2,500.00	
E 101-42-427-350 PUBLICATIONS	\$0.00	\$0.00	\$0.00	\$500.00	\$250.00	
E 101-42-427-430 MISCELLANEOUS	\$191.70	\$0.00	\$0.00	\$500.00	\$250.00	
DIV 427 ANIMAL CONTROL	\$3,641.12	\$2,787.69	\$233.50	\$8,000.00	\$6,500.00	
DEPT 42 PUBLIC SAFETY	\$2,434,094.98	\$2,452,565.82	\$1,128,536.16	\$2,761,064.00	\$3,001,200.00	
DEPT 43 PUBLIC WORKS						
DIV 434 MAINTENANCE						
E 101-43-434-101 REGULAR WAGES & S	\$267,048.44	\$281,493.87	\$153,604.44	\$298,215.00	\$303,500.00	
E 101-43-434-102 OVERTIME WAGES	\$3,067.48	\$8,718.35	\$442.16	\$5,000.00	\$5,000.00	
E 101-43-434-103 PART-TIME WAGES	\$2,269.48	\$2,643.83	\$976.69	\$3,900.00	\$0.00	Cleaning
E 101-43-434-104 TEMPORARY WAGES	\$18,174.00	\$12,340.13	\$4,817.75	\$20,500.00	\$22,440.00	

CITY OF SARTELL

Expenditure Budget Worksheet-2016

Budget Line Items	2013 Amt	2014 Amt	2015 YTD Amt	2015 Budget	2016 Budget	Comment
E 101-43-434-121 EMPLOYER CONTRIB	\$19,444.35	\$20,865.95	\$11,553.50	\$23,000.00	\$24,500.00	
E 101-43-434-122 EMPLOYER CONTRIB	\$20,650.13	\$21,856.18	\$11,818.41	\$25,100.00	\$26,000.00	
E 101-43-434-130 EMPLOYEE BENEFIT-I	\$60,628.41	\$62,982.24	\$35,723.69	\$67,600.00	\$62,000.00	
E 101-43-434-135 MEDICAL	\$0.00	\$0.00	\$295.90	\$0.00	\$0.00	
E 101-43-434-142 UNEMPLOYMENT	\$342.19	\$18.20	\$0.00	\$0.00	\$0.00	
E 101-43-434-150 WORKERS COMPENS	\$25,262.47	\$27,867.90	\$0.00	\$27,000.00	\$28,000.00	
E 101-43-434-170 CLOTHING ALLOWAN	\$2,957.35	\$2,099.42	\$2,483.42	\$3,500.00	\$3,500.00	&uniforms
E 101-43-434-200 OFFICE SUPPLIES	\$544.95	\$754.16	\$303.08	\$600.00	\$700.00	
E 101-43-434-203 SOFTWARE/SUPPORT	\$449.00	\$449.00	\$579.00	\$450.00	\$500.00	support fees
E 101-43-434-206 CONTRACTS PAYMEN	\$7,297.50	\$9,160.00	\$0.00	\$8,000.00	\$9,000.00	Snow remov
E 101-43-434-209 ROAD SALT/SAND	\$76,833.42	\$126,216.56	\$69,891.88	\$112,000.00	\$130,000.00	
E 101-43-434-210 SUPPLIES/MATERIAL	\$7,643.28	\$10,857.16	\$5,975.46	\$8,500.00	\$9,000.00	
E 101-43-434-211 SAFETY SUPPLIES/OS	\$411.06	\$126.04	\$252.52	\$1,000.00	\$1,000.00	
E 101-43-434-212 FUELS	\$80,529.47	\$80,720.69	\$19,119.90	\$80,000.00	\$83,000.00	
E 101-43-434-213 VENDING MACHINES	-\$68.39	-\$12.20	\$0.00	\$0.00	\$0.00	
E 101-43-434-240 SMALL TOOLS	\$2,619.56	\$3,857.79	\$2,108.71	\$3,000.00	\$3,200.00	
E 101-43-434-303 ENGINEERING	\$23,021.93	\$26,164.46	\$6,333.33	\$21,000.00	\$12,000.00	
E 101-43-434-304 LAND DISTURBANCE-	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	In house
E 101-43-434-305 CONSULTANTS-OTHE	\$4,601.60	\$11,505.35	\$12,535.00	\$11,000.00	\$12,000.00	Grede testin
E 101-43-434-308 LEGAL	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
E 101-43-434-320 COMMUNICATIONS/T	\$6,548.40	\$6,436.16	\$2,298.38	\$7,000.00	\$7,000.00	
E 101-43-434-322 POSTAGE	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
E 101-43-434-330 TRANSPORTATION/L	\$112.07	\$137.88	\$124.18	\$500.00	\$500.00	
E 101-43-434-340 TRAINING	\$1,340.00	\$891.50	\$40.00	\$2,000.00	\$1,500.00	
E 101-43-434-350 PUBLICATIONS	\$626.59	\$893.46	\$757.05	\$500.00	\$1,000.00	
E 101-43-434-360 COMP LIAB INSURAN	\$24,059.06	\$23,013.56	\$0.00	\$26,500.00	\$25,000.00	
E 101-43-434-381 UTILITY ELECTRICIT	\$12,371.46	\$13,934.03	\$4,358.13	\$14,000.00	\$14,000.00	
E 101-43-434-383 UTILITY GAS	\$10,698.26	\$20,010.59	\$6,819.33	\$15,000.00	\$17,000.00	
E 101-43-434-384 REFUSE	\$2,346.79	\$2,428.48	\$1,132.22	\$2,500.00	\$2,600.00	
E 101-43-434-386 UTIL-PROTECTIVE LI	\$215,414.55	\$216,003.50	\$87,230.85	\$220,000.00	\$218,000.00	
E 101-43-434-400 STRIPING - STREETS	\$13,621.64	\$3,325.45	\$121.37	\$20,000.00	\$20,000.00	
E 101-43-434-401 R & M - OTHER	\$5,187.18	\$2,206.37	\$339.98	\$7,000.00	\$6,000.00	+curbs
E 101-43-434-403 TRAFFIC SIGNS	\$5,557.88	\$6,590.27	\$1,613.94	\$10,000.00	\$10,000.00	Reflectivity
E 101-43-434-404 R & M- EQUIPMENT	\$72,809.10	\$78,207.37	\$35,114.66	\$52,000.00	\$70,000.00	
E 101-43-434-405 R & M - VEHICLES	\$3,865.22	\$10,056.47	\$285.27	\$7,800.00	\$8,500.00	
E 101-43-434-406 R & M - BLDG	\$18,382.28	\$18,671.84	\$6,915.95	\$15,000.00	\$18,000.00	
E 101-43-434-407 REPAIR-SEALCOAT/R	\$160,559.61	\$184,808.40	\$15,724.97	\$180,000.00	\$250,000.00	
E 101-43-434-409 CONTRACTED CLEAN	\$0.00	\$6.48	\$400.00	\$0.00	\$4,140.00	
E 101-43-434-413 RENTALS	\$222.03	\$204.96	\$92.73	\$500.00	\$500.00	
E 101-43-434-416 LEASES-OTHER	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
E 101-43-434-430 MISCELLANEOUS	\$140.00	\$181.27	\$85.16	\$500.00	\$500.00	
E 101-43-434-434 DUES & SUBSCRIPTI	\$386.25	\$242.50	\$223.75	\$500.00	\$500.00	
E 101-43-434-515 JUDGEMENTS & LOSS	\$3,000.00	\$1,368.00	\$0.00	\$1,000.00	\$1,000.00	
E 101-43-434-550 CAP OUTLAY-EQUIP	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
DIV 434 MAINTENANCE	\$1,180,976.05	\$1,300,303.62	\$502,492.76	\$1,301,665.00	\$1,411,080.00	
DIV 436 COMPOST FACILITY						
E 101-43-436-104 TEMPORARY WAGES	\$6,324.03	\$6,397.98	\$2,182.22	\$9,000.00	\$10,000.00	
E 101-43-436-121 EMPLOYER CONTRIB	\$0.00	\$0.00	\$0.00	\$700.00	\$775.00	
E 101-43-436-122 EMPLOYER CONTRIB	\$483.73	\$489.48	\$166.92	\$700.00	\$770.00	
E 101-43-436-150 WORKERS COMPENS	\$363.12	\$389.08	\$0.00	\$450.00	\$450.00	
E 101-43-436-210 SUPPLIES/MATERIAL	\$641.99	\$629.51	\$585.02	\$1,000.00	\$1,000.00	
E 101-43-436-240 SMALL TOOLS	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
E 101-43-436-303 ENGINEERING	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	

CITY OF SARTELL
Expenditure Budget Worksheet-2016

Budget Line Items	2013 Amt	2014 Amt	2015 YTD Amt	2015 Budget	2016 Budget	Comment
E 101-43-436-305 CONSULTANTS-OTHE	\$86.00	\$99.00	\$0.00	\$0.00	\$100.00	
E 101-43-436-350 PUBLICATIONS	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
E 101-43-436-381 UTILITY ELECTRICIT	\$307.04	\$363.78	\$139.95	\$400.00	\$400.00	
E 101-43-436-401 R & M - OTHER	\$525.37	\$561.01	\$1,404.93	\$2,000.00	\$2,000.00	Turner
E 101-43-436-413 RENTALS	\$3,495.71	\$3,548.31	\$976.17	\$3,700.00	\$3,800.00	refuse/satell
E 101-43-436-414 LEASES-EQUIPMENT	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
DIV 436 COMPOST FACILITY	\$12,226.99	\$12,478.15	\$5,455.21	\$17,950.00	\$19,295.00	
DEPT 43 PUBLIC WORKS	\$1,193,203.04	\$1,312,781.77	\$507,947.97	\$1,319,615.00	\$1,430,375.00	
DEPT 45 CULTURE & RECREATION						
DIV 451 PLAYGROUNDS						
E 101-45-451-305 CONSULTANTS-OTHE	\$2,000.00	\$2,000.00	\$0.00	\$2,000.00	\$2,000.00	Comm Ed
E 101-45-451-437 AIDS TO OTHER GOV	\$12,000.00	\$12,000.00	\$0.00	\$22,000.00	\$22,000.00	Summer rec
DIV 451 PLAYGROUNDS	\$14,000.00	\$14,000.00	\$0.00	\$24,000.00	\$24,000.00	
DIV 452 PARKS						
E 101-45-452-101 REGULAR WAGES & S	\$65,995.42	\$84,216.45	\$44,884.80	\$89,900.00	\$133,000.00	
E 101-45-452-102 OVERTIME WAGES	\$0.00	\$360.20	\$15.00	\$1,000.00	\$500.00	
E 101-45-452-104 TEMPORARY WAGES	\$259.87	\$2,593.01	\$4,593.50	\$7,100.00	\$8,000.00	
E 101-45-452-106 REGULAR MEETING S	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
E 101-45-452-121 EMPLOYER CONTRIB	\$4,763.80	\$6,098.56	\$3,366.36	\$6,900.00	\$10,500.00	
E 101-45-452-122 EMPLOYER CONTRIB	\$4,862.89	\$6,486.99	\$3,807.40	\$7,500.00	\$11,000.00	
E 101-45-452-130 EMPLOYEE BENEFIT-I	\$12,166.59	\$8,941.28	\$5,395.15	\$15,800.00	\$22,500.00	
E 101-45-452-135 MEDICAL	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
E 101-45-452-150 WORKERS COMPENS	\$4,315.13	\$4,535.98	\$0.00	\$5,000.00	\$6,000.00	
E 101-45-452-170 CLOTHING ALLOWAN	\$739.81	\$635.73	\$1,133.63	\$1,000.00	\$1,000.00	
E 101-45-452-200 OFFICE SUPPLIES	\$0.00	\$0.00	\$0.00	\$250.00	\$0.00	
E 101-45-452-210 SUPPLIES/MATERIAL	\$3,872.52	\$6,701.53	\$2,500.32	\$4,500.00	\$5,000.00	
E 101-45-452-211 SAFETY SUPPLIES/OS	\$0.00	\$32.46	\$205.14	\$200.00	\$200.00	
E 101-45-452-212 FUELS	\$1,700.00	\$1,200.00	\$316.22	\$2,000.00	\$2,000.00	
E 101-45-452-229 LANDSCAPING MATE	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	Beaut Fund
E 101-45-452-240 SMALL TOOLS	\$320.59	\$833.91	\$2,372.09	\$1,000.00	\$1,000.00	
E 101-45-452-305 CONSULTANTS-OTHE	\$934.90	\$3,300.00	\$286.00	\$0.00	\$0.00	
E 101-45-452-320 COMMUNICATIONS/T	\$204.00	\$204.00	\$85.00	\$250.00	\$250.00	
E 101-45-452-330 TRANSPORTATION/L	\$0.00	\$0.00	\$0.00	\$200.00	\$250.00	
E 101-45-452-340 TRAINING	\$305.00	\$707.87	\$0.00	\$500.00	\$700.00	
E 101-45-452-360 COMP LIAB INSURAN	\$11,586.59	\$13,867.77	\$0.00	\$14,000.00	\$14,500.00	
E 101-45-452-381 UTILITY ELECTRICIT	\$966.91	\$1,365.14	\$260.74	\$1,500.00	\$1,600.00	
E 101-45-452-383 UTILITY GAS	\$0.00	\$0.00	\$0.00	\$100.00	\$0.00	
E 101-45-452-401 R & M - OTHER	\$4,965.22	\$1,092.76	\$1,985.03	\$4,000.00	\$4,000.00	
E 101-45-452-404 R & M- EQUIPMENT	\$8,479.20	\$5,495.62	\$2,918.53	\$7,500.00	\$7,000.00	
E 101-45-452-405 R & M - VEHICLES	\$350.08	\$4,700.18	\$249.46	\$4,000.00	\$3,500.00	
E 101-45-452-406 R & M - BLDG	\$818.12	\$564.00	\$291.18	\$1,500.00	\$1,000.00	
E 101-45-452-413 RENTALS	\$6,174.41	\$7,486.79	\$3,248.14	\$5,500.00	\$7,500.00	Sauk River?
E 101-45-452-430 MISCELLANEOUS	\$39.18	\$0.00	\$25.00	\$750.00	\$750.00	
E 101-45-452-515 JUDGEMENTS & LOSS	\$0.00	\$385.00	\$0.00	\$0.00	\$0.00	
E 101-45-452-550 CAP OUTLAY-EQUIP	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
DIV 452 PARKS	\$133,820.23	\$161,805.23	\$77,938.69	\$181,950.00	\$241,750.00	
DIV 453 POOLS						
E 101-45-453-104 TEMPORARY WAGES	\$11,687.78	\$0.00	\$0.00	\$0.00	\$0.00	YMCA
E 101-45-453-122 EMPLOYER CONTRIB	\$877.11	\$0.00	\$0.00	\$0.00	\$0.00	YMCA
E 101-45-453-150 WORKERS COMPENS	\$675.09	\$336.54	\$0.00	\$0.00	\$0.00	YMCA
E 101-45-453-210 SUPPLIES/MATERIAL	\$2,830.34	\$3,314.30	\$283.73	\$3,000.00	\$3,000.00	

CITY OF SARTELL

Expenditure Budget Worksheet-2016

Budget Line Items	2013 Amt	2014 Amt	2015 YTD Amt	2015 Budget	2016 Budget	Comment
E 101-45-453-240 SMALL TOOLS	\$129.11	\$0.00	\$0.00	\$200.00	\$200.00	
E 101-45-453-305 CONSULTANTS-OTHE	\$0.00	\$16,684.80	\$6,029.75	\$18,000.00	\$19,150.00	YMCA
E 101-45-453-320 COMMUNICATIONS/T	\$210.98	\$398.50	\$95.88	\$500.00	\$500.00	
E 101-45-453-330 TRANSPORTATION/L	\$0.00	\$256.50	\$541.50	\$500.00	\$500.00	
E 101-45-453-360 COMP LIAB INSURAN	\$3,322.64	\$3,205.67	\$0.00	\$3,800.00	\$3,500.00	
E 101-45-453-381 UTILITY ELECTRICIT	\$1,384.21	\$1,510.73	\$239.15	\$1,300.00	\$1,500.00	
E 101-45-453-401 R & M - OTHER	\$2,970.99	\$1,223.89	\$340.70	\$2,500.00	\$2,000.00	
E 101-45-453-430 MISCELLANEOUS	\$405.00	\$300.00	\$300.00	\$450.00	\$450.00	
E 101-45-453-500 CAPITAL OUTLAY	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
DIV 453 POOLS	\$24,493.25	\$27,230.93	\$7,830.71	\$30,250.00	\$30,800.00	
DIV 454 RINKS						
E 101-45-454-104 TEMPORARY WAGES	\$5,260.50	\$6,496.38	\$5,422.38	\$7,000.00	\$7,500.00	
E 101-45-454-121 EMPLOYER CONTRIB	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
E 101-45-454-122 EMPLOYER CONTRIB	\$402.41	\$496.96	\$414.81	\$500.00	\$550.00	
E 101-45-454-150 WORKERS COMPENS	\$259.24	\$328.17	\$0.00	\$400.00	\$400.00	
E 101-45-454-210 SUPPLIES/MATERIAL	\$3.98	\$0.00	\$13.99	\$100.00	\$100.00	
E 101-45-454-320 COMMUNICATIONS/T	\$192.43	\$166.68	\$143.74	\$250.00	\$250.00	
E 101-45-454-360 COMP LIAB INSURAN	\$1,982.26	\$1,834.65	\$0.00	\$2,100.00	\$2,000.00	
E 101-45-454-381 UTILITY ELECTRICIT	\$2,880.05	\$5,533.37	\$1,108.12	\$3,000.00	\$3,500.00	
E 101-45-454-401 R & M - OTHER	\$2,018.53	\$2,053.09	\$12.85	\$1,500.00	\$2,000.00	
E 101-45-454-413 RENTALS	\$0.00	\$125.00	\$0.00	\$250.00	\$250.00	
E 101-45-454-430 MISCELLANEOUS	\$120.00	\$90.00	\$0.00	\$300.00	\$300.00	
DIV 454 RINKS	\$13,119.40	\$17,124.30	\$7,115.89	\$15,400.00	\$16,850.00	
DEPT 45 CULTURE & RECREATION	\$185,432.88	\$220,160.46	\$92,885.29	\$251,600.00	\$313,400.00	
DEPT 48 CAPITAL PROJECTS						
DIV 463 OTHER FINANCIAL USES						
E 101-48-463-440 REQUIRED RESERVE/	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
E 101-48-463-500 CAPITAL OUTLAY	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
E 101-48-463-720 TRANSFER OUT	\$400,000.00	\$0.00	\$0.00	\$0.00	\$160,000.00	SAC/WAC lo
E 101-48-463-721 TRANSFER OUT - FD	\$30,000.00	\$30,000.00	\$0.00	\$50,000.00	\$60,000.00	
E 101-48-463-722 TRANSFER OUT - PD	\$50,000.00	\$60,000.00	\$0.00	\$100,000.00	\$75,000.00	
E 101-48-463-723 TRANSFER OUT - TEC	\$20,000.00	\$35,000.00	\$0.00	\$55,000.00	\$65,000.00	
E 101-48-463-724 TRANSFER OUT - BLD	\$145,000.00	\$160,000.00	\$0.00	\$150,000.00	\$180,000.00	
E 101-48-463-725 TRANSFER OUT - STR	\$0.00	\$400,000.00	\$0.00	\$450,000.00	\$200,000.00	
E 101-48-463-726 TRANSFER OUT - PW	\$105,000.00	\$200,000.00	\$0.00	\$230,000.00	\$250,000.00	
E 101-48-463-727 TRANSFER OUT - CIV	\$5,000.00	\$5,000.00	\$0.00	\$6,000.00	\$7,000.00	
E 101-48-463-728 PAYMENT OF TAX AB	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
E 101-48-463-731 TRANSFER OUT - PA	\$18,000.00	\$0.00	\$0.00	\$18,000.00	\$0.00	Non-election
DIV 463 OTHER FINANCIAL USES	\$773,000.00	\$890,000.00	\$0.00	\$1,059,000.00	\$997,000.00	
DEPT 48 CAPITAL PROJECTS	\$773,000.00	\$890,000.00	\$0.00	\$1,059,000.00	\$997,000.00	
FUND 101 GENERAL	\$5,368,735.19	\$5,668,658.47	\$2,119,710.98	\$6,217,343.00	\$6,555,122.00	

**CITY OF SARTELL 2016 BUDGET
SUPPORTING SCHEDULE A**

101-41-411-434 Dues & Subscriptions

St. Cloud APO	\$16,000	2015 dues - \$15,813
Greater SC Dev Corp	\$11,000	2016 dues
St. Cloud Area Chamber	\$720	2015 dues
Sartell Chamber	\$185	2015 dues
League of MN Cities	\$13,595	2015 dues - \$13,122
Coalition of Greater MN Cities	\$15,500	2015 dues - \$14,660

TOTAL \$57,000

**CITY OF SARTELL 2016 BUDGET
SUPPORTING SCHEDULE B**

101-41-411-439 Contributions	Source	
RSVP	\$4,768	2015 actual
Whitney	\$2,250	2015 actual
Initiative Foundation	\$2,800	2015 actual
SummerFest	\$0	\$1,000 from Lodging Tax Fund
TOTAL	\$9,818	

**CITY OF SARTELL 2016 BUDGET
SUPPORTING SCHEDULE C**

Audit (based on KDV quote)

Administration	\$20,100	101-41-414-310
Fire/Govt. Center	\$800	101-42-422-310
Water	\$3,100	601-49-414-310
Sewer	\$3,100	602-49-414-310
Storm	\$3,100	603-49-850-310
TIF 5-2	\$300	441-46-465-310
TIF 5-4	\$300	444-46-465-310
TIF 5-5	\$300	445-46-465-310
	\$31,100	Total

SARTELL POLICE DEPARTMENT

TO: MARY DEGIOVANNI, MAYOR AND CITY COUNCIL
FROM: DEPUTY CHIEF STRUFFERT
SUBJECT: JULY 13 COUNCIL MEETING
DATE: JULY 8, 2015
CC: MEMO FILE

The following is a synopsis for the reportable and non-reportable incidents for May 2015.

- Reportable incidents
- Assaults were up from 2 to 6.
- Burglaries decreased from 4 to 3.
- Drugs increased from 2 to 13.
- Juvenile related issues were down from 3 to 2.
- Disturbing the peace decreased by 6.
- Theft type incidents were down from 50 to 35.

- Non-reportable incidents
- Total alarm calls were down from 19 to 16.
- Motorist Assists were up from 19 to 27.
- Personal Assist increased from 9 to 24.
- Dog calls were up from 20 to 23.
- Driving complaints decreased to 4.
- Juvenile Problems increased from 6 to 14.
- Medical calls increased from 30 to 42.
- Speeding violations increased from 14 to 22.
- Suspicious type calls were up from 47 to 57.

**SARTELL POLICE DEPARTMENT
MONTHLY ACTIVITY REPORT
MAY 2015**

REPORTABLE INCIDENTS

		<u>2013</u>	<u>2014</u>	<u>2015</u>
A	Assault	3	2	6
B	Burglary	5	4	3
C	Forgery – Counterfeiting	1	2	1
D	Drugs	6	2	13
E	Escape – Flight	0	1	0
F	Arson – Negligent Fires	0	0	1
I	Crime against Family	0	0	2
J	DWI	4	4	4
L	Criminal Sexual Conduct	1	3	0
M	Miscellaneous	3	1	3
	M3005 Juvenile Use of Tobacco	0	1	2
	M5350 Juvenile Runaway	1	2	0
N	Disturbing Peace/Privacy	3	8	2
P	Trespass/Damage to Property	14	32	14
Q	Stolen Property (Receiving/Concealing)	2	0	0
T	Theft	18	29	22
U	Theft Related	12	21	10
V	Vehicle Theft Related	3	0	3
W	Weapons	1	0	0
X	Crime against Administration of Justice	0	1	0
	TOTAL	77	113	86

**SARTELL POLICE DEPARTMENT
MONTHLY ACTIVITY REPORT
MAY 2015**

NON REPORTABLE INCIDENTS

		<u>2014</u>	<u>2015</u>
911 HANG UP	9837	3	5
ABANDONED VEHICLES	9314	1	0
ADMINISTRATIVE CITATION	9099	2	2
ALARM - ACTUAL	9805	3	0
ALARM - FALSE	9807	16	16
ALL OTHER CITY ORDINANCES	9838	12	43
ALL OTHER MOVING VIOLATIONS	9000	7	7
ALL OTHER NON MOVING VIOLATIONS	9200	1	1
ALL OTHER PARKING VIOLATIONS	9100	6	2
ANIMAL COMPLAINTS (ALL OTHERS)	9564	4	6
ANIMALS FOUND	9312	1	3
ANIMALS LOST	9302	2	1
APPREHENSION AND DETENTION ORDER	9931	0	1
ASSAULT, NO ARREST	9994	0	1
ASSIST - MOTORIST ASSIST	9843	19	27
ASSIST - PERSONAL ASSIST	9732	9	24
ASSIST AMBULANCE	9887	0	1
ASSIST BENTON COUNTY	9882	3	0
ASSIST BUSINESS	9866	3	2
ASSIST FIRE DEPARTMENT	9888	0	1
ASSIST HUMAN SERVICES	9889	4	5
ASSIST OTHER LAW ENFORCEMENT AGENCY	9878	3	1
ASSIST SAUK RAPIDS PD	9875	14	9
ASSIST ST CLOUD PD	9859	10	8
ASSIST ST JOSEPH PD	9876	0	1
ASSIST STATE PATROL	9860	4	1
ASSIST STEARNS COUNTY	9863	21	10
ASSIST WAITE PARK PD	9877	1	1
ATV - ALL OTHER VIOLATIONS	9578	1	1
ATV - OPERATE ON ROADWAY	9576	1	0
BACKGROUND CHECKS	9858	94	56
BURNING VIOLATION	9824	2	1
CANCELLED IPS (NON REPORTABLE)	9208	1	0
CHILD CUSTODY	9992	5	2
CHILD PLACEMENT	9881	1	6
CHILD RESTRAINT VIOLATION	9022	3	0
CITIZEN CONTACT	9897	3	14

CIVIL MATTER	9831	5	3
COURT - ON DUTY	9913	1	0
DECEASED PERSON - BODY FOUND	9720	1	0
DISPLAY WRONG REGISTRATION	9211	0	1
DISPLAY/POSSESS REVOKED PLATES	9097	1	3
DOG - AT LARGE	9566	4	9
DOG - BARKING	9565	7	7
DOG BITES	9561	2	1
DOG COMPLAINTS	9562	8	4
DOG IMPOUNDS	9563	1	3
DOMESTIC, NO CRIME COMMITTED	9993	0	4
DRIVING AFTER CANCELLATION	9206	3	0
DRIVING AFTER REVOCATION	9201	13	6
DRIVING AFTER SUSPENSION	9207	6	4
DRIVING COMPLAINT	9839	35	27
ESCORT	9854	1	4
EXPIRED REGISTRATION	9212	3	1
FAIL TO CHANGE ADDRESS ON DL	9098	0	1
FINGERPRINT	9849	12	20
FIRE - OTHER	9600	1	0
FIRE - SINGLE FAMILY	9601	1	0
FIRE - VEHICLE	9606	2	0
FIRE LANE PARKING - SIGNS	9106	0	1
FIREWORKS	9814	2	2
FOLLOW UP	9327	5	0
GUN - APPLICANT GUN PERMIT (PURCHASE)	9903	19	16
GUN - DISCHARGING WEAPON IN CITY	9821	0	1
GUN RELATED COMPLAINTS	9879	3	4
HANDICAPPED PARKING	9103	3	0
HARASSMENT	9801	8	3
HARASSMENT/RESTRAINING/OFP ORDERS	9929	2	2
HIT AND RUN / PROPERTY DAMAGE PRIVATE PROPERTY	9455	0	1
HIT AND RUN / PROPERTY DAMAGE VEHICLE	9450	10	1
ILLEGAL DUMPING	9996	1	2
INATTENTIVE DRIVING	9034	2	1
INTOXICATED PERSON	9844	4	6
ISSUE DEER PERMIT	9855	1	0
JUVENILE CURFEW VIOLATION	9833	10	9
JUVENILE PROBLEM	9834	6	14
LIQUOR LICENSE APPLICATION/RENEWAL	9907	2	0
LITTERING	9813	1	1
MATTER OF INFORMATION	9970	14	27
MEDICAL CALL	9731	30	42
NEIGHBORHOOD DISPUTE	9991	2	1
NO DRIVER'S LICENSE IN POSSESSION	9111	1	0
NO INSURANCE	9210	6	3
NO PROOF OF INSURANCE	9021	10	9

NO REPORT/PROPERTY DAMAGE VEHICLE ACCIDENT	9441	2	0
NO VALID DRIVER'S LICENSE	9113	2	0
NOISE VIOLATION	9817	25	16
OPEN DOOR AND/OR WINDOW	9900	2	5
PARK VIOLATION	9823	2	1
PERSONAL INJURY ACCIDENT/PRIVATE PROPERTY	9422	1	0
PERSONAL INJURY VEHICLE ACCIDENT	9420	4	2
PERSONS FOUND	9311	10	0
PERSONS MISSING	9304	9	0
PROPERTY DAMAGE VEHICLE ACCIDENT	9440	16	12
PROPERTY FOUND	9313	11	10
PROPERTY LOST	9303	3	4
PSYCHIATRIC CASE	9740	5	3
PUBLIC HEALTH & SAFETY	9869	10	5
RECOVERED STOLEN VEHICLE	9927	1	1
REQUEST FOR EXTRA PATROL	9998	13	23
RIGHT OF WAY	9008	1	0
SCHOOL BUS STOP ARM VIOLATION	9014	1	1
SCHOOL GUARD VIOLATION	9019	0	1
SEATBELT VIOLATION	9020	11	0
SEIZED PROPERTY	9872	27	26
SEMAPHORE VIOLATION	9038	0	1
SERVICE TO OTHER DEPARTMENTS	9902	1	0
SOLICITOR REGISTRATION	9324	1	2
SPECIAL DETAIL	9829	14	11
SPEEDING	9004	14	22
STALLED VEHICLE	9840	1	2
STOP SIGNS	9017	2	2
SUICIDE	9700	0	1
SUICIDE ATTEMPT	9710	1	1
SUICIDE THREAT	9705	7	7
SUSPICIOUS ACTIVITY	9826	22	20
SUSPICIOUS ITEM	9798	1	0
SUSPICIOUS PERSON	9870	8	7
SUSPICIOUS PHONE CALL(S)	9795	0	4
SUSPICIOUS SMELL	9799	3	4
SUSPICIOUS VEHICLE	9868	13	22
THREATS COMPLAINT, NO ARREST	9995	5	5
TOWED VEHICLE	9841	10	6
TRAINING/MISCELLANEOUS	9857	1	1
TRANSPORT	9856	11	13
UNWANTED PERSON	9830	5	5
VEHICLE IN DITCH	9842	0	1
VERBAL DISPUTE	9845	5	8
VERBAL WARNING - ALL OTHERS	9045	65	66
VERBAL WARNING - HEADLAMP(S)	9047	9	16
VERBAL WARNING - SEATBELT	9046	15	1

VERBAL WARNING - SPEED	9043	56	66
VERBAL WARNING - STOP SIGN	9044	1	4
WARNING TAG - NO INSURANCE IN POSSESSION	9196	1	0
WARNING TAG - OTHER NON-MOVING VIOLATION	9185	1	0
WARNING TAG - RED LIGHT OR STOP SIGN	9026	0	1
WARNING TAG - SPEED	9023	0	1
WARRANT SERVED	9901	10	5
WARRANT/PAPER ATTEMPT	9999	1	3
WELFARE CHECK	9811	31	26
	TOTAL	980	947

	<u>2013</u>	<u>2014</u>	<u>2015</u>
TOTAL REPORTABLE FOR MAY	77	113	86
TOTAL NON REPORTABLE FOR MAY	938	980	947
TOTAL CODES FOR MAY	1015	1093	1033

Prepared by Kelly Hanson

Approved by Dale Struffert

LAW ENFORCEMENT CENTER

Number Of Calls Report by Department - Complaint (All Units)

Jurisdiction: LEC

First Date: 05/01/2015

Last Date: 05/31/2015

Department	Complaint	Number	
1 SPD			
	1014	ESCORT	3
	1029R	STOLEN VEHICLE RECOVERED	1
	1050	ACCIDENT	14
	1056	INTOXICATED DRIVER	2
	1057	INTOXICATED PERSON	5
	911H	911 HANGUP CALL	4
	ACCTCL	ACCOUNT CLOSED CHECK	1
	ADMIN	ADMINISTRATIVE ICR	23
	AL	ALARM	13
	ALFIRE	ALARM FIRE	1
	ALMC	ALCOHOL MINOR CONSUMPTION	1
	ALMED	ALARM MEDICAL	2
	ANI	ANIMAL COMPLAINT	11
	ANIB	ANIMAL BITE COMPLAINT	1
	ANIN	ANIMAL NEGLECT	1
	ASEX	SEXUAL ASSAULT	1
	ASLT	ASSAULT	2
	ASSTA	AGENCY ASSIST	33
	ASSTB	BUSINESS ASSIST	3
	ASSTP	PERSONAL ASSIST	20
	ATV	ATV COMPLAINT	2
	BACK	BACKGROUND CHECK	56
	BIKEA	BIKE/ABANDONED	3
	BURG	BURGLARY	1
	CC	CITIZEN CONTACT	18
	CHK	BAD CHECKS	1
	CITYB	CITY BUSINESS	2
	CIVIL	CIVIL MATTER	3
	COUNT	COUNTERFEITING	1
	CS	CAR SERVICE	1
	DARE	DARE PROGRAM	2
	DOG	DOG COMPLAINT/BARKING	18
	DOM	DOMESTIC	4
	DOMI	DOMESTIC IN PROGRESS	3
	DOORCHK	DOOR CHECK(S)	5
	DRIVE	DRIVING COMPLAINT	24
	DUMP	ILLEGAL DUMPING COMPLAINT	2
	DUPLICATE	DUPLICATE ICR ERROR	2
	DWI	DRUNK DRIVER ARREST	3
	FIREAL	FIRE ALARM	2
	FIREB	FIRE BUILDING	1
	FIREW	FIRE GRASS OR WILDLAND	1
	FPROP	FOUND PROPERTY	8
	FRAUD	FRAUD	4
	FUP	FOLLOW UP	8
	FWORKS	FIREWORKS COMPLAINT	2
	GAS	GAS LEAK	1
	GUN	GUN/PERSON WITH	1
	GUNSH	GUNSHOTS FIRED/HEARD	4
	HAR	HARASSMENT COMPLAINT	3

LAW ENFORCEMENT CENTER

Number Of Calls Report by Department - Complaint (All Units)

Jurisdiction: LEC

First Date: 05/01/2015

Last Date: 05/31/2015

Department	Complaint	Number
51 SPD		
	HARRORD HARASSMENT RESTRAINING ORDER	1
	HARRORV HARASSMENT RESTRAINING ORDER V	1
	HAZ HAZARD	4
	HR HIT AND RUN	3
	HSREFER HUMAN SERVICES REFERRAL	5
	INFO MATTER OF INFORMATION	33
	JUVP JUVENILE/PROBLEM WITH	11
	LM LOUD MUSIC	3
	LP LOUD PARTY	1
	LPROP LOST PROPERTY	3
	MAIL MAILBOX VANDALISM	1
	MA MOTORIST ASSIST	20
	MED MEDICAL EMERGENCY	42
	MEETING ATTEND MEETING	3
	NDISP NEIGHBORHOOD DISPUTE	1
	NEGLECT NEGLECT	1
	NOISE NOISE COMPLAINT	9
	NOPAY NO PAY CUSTOMER	1
	OD OVERDOSE	1
	OFP ORDER FOR PROTECTION	1
	OPFV OFP VIOLATION	1
	OPEND OPEN DOOR	5
	ORD ORDINANCE VIOLATION	40
	OTL OUT TO LUNCH	4
	PAPSV PAPER SERVICE	1
	PARKPAT PARK PATROL	1
	PARKV PARKING VIOLATION	3
	PERG GUN PERMIT	16
	PHONE PHONE COMPLAINT	2
	POSSD DRUGS-PARAPHERNALIA/POSSESION	1
	PRDAM PROPERTY DAMAGE	4
	SBUS SCHOOL BUS/SCHOOL VIOLATION	1
	SD SPECIAL DETAIL	6
	SHOPI SHOPLIFTER/URGENT	1
	SHOP SHOPLIFTER	2
	SPEEDTRL SPEED TRAILER	3
	STALL STALLED VEHICLE	8
	SUIC SUICIDE THREAT	8
	SUSA SUSPICIOUS ACTIVITY	18
	SUSI SUSPICIOUS ITEM	1
	SUSP SUSPICIOUS PERSON	8
	SUSS SUSPICIOUS SMELL	2
	SUSV SUSPICIOUS VEHICLE	18
	THEFT THEFT	21
	THEFTV THEFT FROM VEHICLE	2
	THREAT THREATS COMPLAINT	5
	TOBACC TOBACCO COMPLIANCE CHECK	1
	TRAFFIC STOP TRAFFIC STOP	173
	TRAIN TRAINING	4
	TRES TRESPASSING/TRESPASSER	1

LAW ENFORCEMENT CENTER

Number Of Calls Report by Department - Complaint (All Units)

Jurisdiction: LEC

First Date: 05/01/2015

Last Date: 05/31/2015

<i>Department</i>	<i>Complaint</i>	<i>Number</i>
101 SPD		
	UNWAN UNWANTED PERSON	4
	VAGRANCY VAGRANCY	1
	VAND VANDALISM	4
	VANDV VANDALISM TO VEHICLE	1
	VDITCH VEHICLE IN THE DITCH	1
	VERB VERBAL DISPUTE	7
	VULAD VULNERABLE ADULT	1
	WARRANT WARRANT	4
	WELF WELFARE CHECK	20
	XPAT EXTRA PATROL	15
Group Total:		892

Report Total: 892

A call with multiple Departments assigned will be counted in the group total for each of these Departments, therefore such calls will be counted more than once. For this reason, the total number of calls may not equal the sum of the group totals

**PUBLIC WORKS DEPARTMENT
MONTHLY REPORT**

July 13, 2015

Streets

- Pothole patching – Pothole patching continues on an as needed basis.
- Crackfill – City crews completed crack filling streets that will be seal coated this year, along with other streets that have not been crack filled in the past. Four weeks were set aside for crack filling.
- Ditch mowing – Ditch mowing continues along city streets and foreclosure lots where needed.
- SummerFest – Crews spent days preparing for SummeFest with mowing, sweeping, moving picnic tables and helping out on many miscellaneous projects.
- Alley repairs – Repairs in alley's were completed where needed.
- Street paintings – Crews began striping parking lots, yellow curb painting and cross painting.

Parks:

- Val Smith Park shelter – Val Smith Park shelter opened for the season on June 20th.
- Dog Park – The Dog Park was opened for use in June.
- Wading Pools - Pools opened for the season in early, June due to cool weather Memorial weekend.
- Eagle Scout project – Eagle Scout Peter Amundson completed his project of installing park benches and garbage receptacles in four locations in the city. Locations included Sauk River Regional Park, Pinecone Rd South (near Chateau Waters project), Heritage drive and one on Roberts Rd.
- Flag poles - New flag poles were installed in Val Smith Park by our local Legion Club.
- Movies in the Park – Movies in the Park began in June, one or two days prior to movie date mosquitos are sprayed where movie is shown.
- Rolling Meadows Park - As a Community service project an individual is rebuilding fishing platform at the pond in Rolling Meadows Park.

Compost

- Compost site – Everything at compost site is running smoothly.

Professional Development:

- Seasonal Help Training - All seasonal help attend safety training session.



Memorandum

To: Mayor and Council Members

From: Mike Nielson, City Engineer

Date: July 13, 2015

Re: Monthly Update

WSB Project No. 2174-00

2015 Seal Coat Project – The contractor started the seal coat projects on Thursday July 9, 2015. The seal coat portion will be done by Monday. Roberts Road and Heritage Drive will also be getting a Fog Seal, which as an additional application of oil over the chip seal aggregate. This will be the first project of this type for the city.

Pinecone Road Improvements

Phase 1 – The project has been delayed by utility conflicts with Gas, Electric and Telephone and the recent rains. The curb & gutter is scheduled to begin on Monday July 13th and will take approximately 3-4 days for completion. The concrete paving will follow as soon as possible and is estimated to be completed within a week. We are hopeful the roundabout will be open by the end of the month.

Scout Drive and Heritage Drive Roundabouts.

Assuming the council approves the contract for this project work is tentatively scheduled to begin in early August.

Safe Routes to School Project – Bids for this project will be opened on August 3, 2015 and presented to the Council at the August meeting.

Chateau Waters Construction- The sewer and water connections in Pinecone Road have been completed and the 8th/19th sewer, water and storm sewer improvements have been completed. The first lift of bituminous has been placed except on the temporary cul-de-sac. The cul-de-sac will be paved in the spring when the final lift of bituminous is placed.

Other projects:

Sauk River Regional parking lot has been completed. The public works staff will be striping the parking stalls. We met with Prairie Restorations to review the native plantings around the parking area and we were assured that the natives were germinating well. Unfortunately the weeds grow much faster than the native vegetation. They recommended not mowing until the weeds cover started to shade the native plants. Prairie Restorations is under contract to maintain the area for a 3 year period and will mow as necessary.

The pavement repairs in the North Side Park are completed.

I plan on attending the council meeting, however if you have any questions before the meeting please call me at 293-2989.

**Planning and Community Development Department Update
July 2015
Anita Rasmussen, AICP**

Development Updates

SolarStone

The land lease agreements have been signed. They anticipate submitting a conditional use permit for the use of the property as a solar garden in July.

CGI Promotional City Videos

The videos are complete and are located on the City's website. They look great!

Comprehensive Plan Update

Last month, the draft comprehensive plan was forwarded to HMA in order to insert hypothetical neighborhoods and developments within the town square/medical area as to provide a better visual tool as we continue to determine the appropriate land uses and transportation plans in that area of the community.

AIM Development

No update

APO Funding Request

A planning grant was submitted to the APO on July 1st requesting funds to review routes associated with the future 15th Street North collector roadway from Pinecone Road to Town-line Road. The planning grant does require a 20% match. If awarded, the dollars would be available in 2016.

Special Studies

LeSauk Drive -

SRF has completed their draft recommendations for a solution at the LeSauk Drive/County Road 1 intersection. The preferred alternative, based on costs and effectiveness includes a 4-legged roundabout at Heritage Drive and County Road 1, along with the right in/right out intersection at LeSauk Drive and County Road One.

I have included draft report/findings within this packet for your review. As you may notice, there were a number of alternatives studied. Ultimately, the preferred alternative created a level of service that benefited the users from a transportation perspective, at a cost that was reasonable.

However, we anticipate a significant amount of concern from many of the businesses in that particular location. The reality is that there was not a perfect or an easy solution. There will be an open house on Thursday, July 16th from 4:30-6:30 pm at the Resource Training and Solutions building.

I would invite you to share any comments that you may have regarding the preferred alternative so that I can share them with the review team.

To: LeSauk Drive Corridor Study Project Management Team
From: Lance Bernard, Associate
 Tom Sachi, EIT
Date: July 2, 2015
Subject: LeSauk Drive Corridor Study – Traffic Operations Summary

Introduction

SRF has completed a corridor study for LeSauk Drive located near the southwest quadrant of the Trunk Highway 15 (TH 15)/County State Aid Highway 1 (CSAH 1) intersection in the City of Sartell (Shown in Figure 1: Project Location). The corridor extends from Connecticut Avenue in the south to CSAH 1 in the north. Additionally, the CSAH 1/Heritage Drive intersection was reviewed in order to understand alternative routes to LeSauk Drive and traffic impacts if access modifications were to occur. The main objectives of this study are to review existing operations within the study area, perform a safety analysis, evaluate the traffic changes to the corridor, and recommend any necessary improvements to better accommodate expected traffic volumes. The following sections provide the assumptions and analysis used to help inform the evaluation of four alternatives (See Table 1). The selection and evaluation of each alternative are documented in a separate technical memorandum (see LeSauk Drive Corridor Study – Alternative Development Memo dated June 29, 2015).

Table 1: Proposed Alternatives for Evaluation

Alternative	Proposed Improvements
Alternative A (No Build Plus)	<ul style="list-style-type: none"> • Four-lane CSAH 1 between TH 15 and LeSauk Drive • Maintain current access at CSAH 1 and LeSauk Drive • Intersection improvements at TH 15 and CSAH 1
Alternative B (Base Scenario - Planned Improvements)	<ul style="list-style-type: none"> • Right-in/right-out at CSAH 1 and LeSauk Drive • Four-lane CSAH 1 between TH 15 and Heritage Drive • Intersection improvements at TH 15 and CSAH 1
Alternative C (Four-Legged Roundabout)	<ul style="list-style-type: none"> • Base Scenario conditions, plus • Roundabout at CSAH 1 and Heritage Drive • 19th Street Extension (between Amber Avenue South and LeSauk Drive)
Alternative D (Five-Legged Roundabout)	<ul style="list-style-type: none"> • Base Scenario • Roundabout at CSAH 1 and Heritage Drive (dependent on Alternative A scenario testing) • 19th Street Extension (between Amber Avenue South and LeSauk Drive) • Evergreen Drive extension connecting to the roundabout (fifth leg) at CSAH 1 and Heritage Drive



Figure 1

Project Location

LeSauk Drive Corridor Study
St. Cloud Area Planning Organization and City of Sartell



00156824
May 2015

Existing Conditions

The existing conditions were reviewed to establish a baseline in order to identify any future impacts associated with traffic volume growth and access modifications. The evaluation of existing conditions includes peak period intersection turning movement counts, field observations, and an intersection capacity analysis.

Data Collection

Peak period turning movement counts were collected by SRF during the week of April 27, 2015 at the following study intersections:

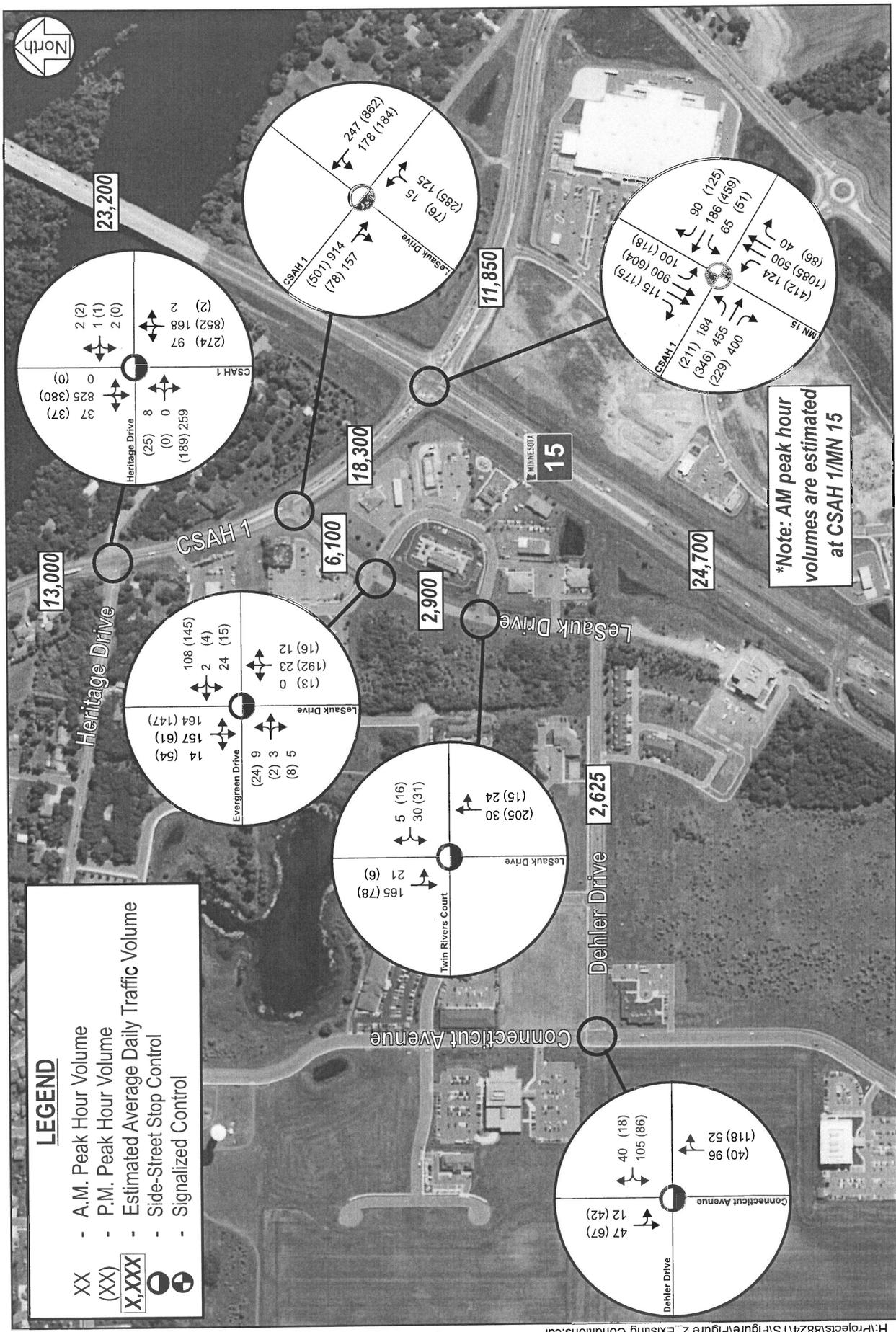
- Dehler Drive and Connecticut Avenue
- LeSauk Drive and Twin Rivers Court South
- LeSauk Drive and Twin Rivers Court North/Evergreen Drive
- CSAH 1 and LeSauk Drive
- CSAH 1 and Heritage Drive

Historical annual average daily traffic (AADT) volumes within the study area, provided by the Minnesota Department of Transportation (MnDOT), were also reviewed.

In addition to the intersection turning movement counts, observations were completed to identify roadway characteristics within the study area (i.e. roadway geometry, posted speed limits, and traffic controls). Currently, LeSauk Drive is a two-lane roadway with no posted speed. CSAH 1 primarily is an undivided two-lane roadway with a posted speed limit of 40 mph. All study intersections within the study area are side-street stop controlled. CSAH 1 is functionally classified as a minor arterial, while all other study roadways are functionally classified as major collectors (i. e., Heritage Drive and 50th Avenue) and local streets. Existing geometrics, traffic controls, and volumes within the study area are shown in Figure 2.

Existing Intersection Capacity Analysis

An existing intersection capacity analysis was completed using Synchro/SimTraffic software (V8.0) to establish a baseline condition to which future traffic operations could be compared. Capacity analysis results identify a Level of Service (LOS) that indicates how well an intersection is operating. Intersections are ranked from LOS A through LOS F. The LOS results are based on average delay per vehicle, which correspond to the delay threshold values shown in Table 1. LOS A indicates the best traffic operation, while LOS F indicates an intersection where demand exceeds capacity. Overall intersection LOS A through LOS C is generally considered acceptable in the Sartell area.



Existing Conditions
 LeSauk Drive Corridor Study
 St. Cloud Area Planning Organization and City of Sartell

Figure 2

Table 1. Level of Service Criteria for Signalized and Unsignalized Intersections

LOS Designation	Signalized Intersection Average Delay/Vehicle (seconds)	Unsignalized Intersection Average Delay/Vehicle (seconds)
A	≤ 10	≤ 10
B	> 10 - 20	> 10 - 15
C	> 20 - 35	> 15 - 25
D	> 35 - 55	> 25 - 35
E	> 55 - 80	> 35 - 50
F	> 80	> 50

For side-street stop/yield controlled intersections, special emphasis is given to providing an estimate for the level of service of the side-street approach. Traffic operations at an unsignalized intersection with side-street stop/yield control can be described in two ways. First, consideration is given to the overall intersection level of service. This takes into account the total number of vehicles entering the intersection and the capability of the intersection to support these volumes. Second, it is important to consider the delay on the minor approach. Since the mainline does not have to stop, the majority of delay is attributed to the side-street approaches. It is typical of intersections with higher mainline traffic volumes to experience high levels of delay (i.e. poor levels of service) on the side-street approaches, but an acceptable overall intersection level of service during peak hour conditions.

Results of the existing intersection capacity analysis shown in Table 2, indicates that all study intersections operate at an overall acceptable LOS B or better during the a.m. and p.m. peak hours. However, significant side-street delay was observed at multiple locations within the study area during these time periods. Specifically, during the a.m. peak hour motorists experience approximately 50 seconds and 90 seconds of delay on average at the eastbound and westbound approaches to the CSAH 1/Heritage Drive intersection. The majority of the side-street delay at this intersection is attributable to the eastbound approach. Queuing at the CSAH 1/Heritage Drive intersection was observed to extend approximately 625 feet to the west for the eastbound approach during the a.m. peak hour. In addition to the side-street approaches of this intersection experiencing significant delay, the northbound left-turn and through movements also experience delay. The queues extend approximately 350 feet to the south during the p.m. peak hour. These queues are a result of left-turning vehicles blocking through vehicles from proceeding through the intersection.

In addition to the CSAH 1/Heritage Drive intersection, the CSAH 1/LeSauk Drive intersection also experienced heavy side-street delay. On average, vehicles in the eastbound direction along LeSauk Drive experienced approximately 30 seconds of delay, with queues extending back 225 feet and 325 feet during the a.m. and p.m. peak hours, respectively. This is the result of a lack of gaps for left-turning vehicles onto CSAH 1.

Table 2. Existing Intersection Capacity Analysis

Intersection	A.M. Peak		P.M. Peak	
	LOS	Delay	LOS	Delay
CSAH 1/LeSauk Drive ⁽¹⁾	A/D	30 sec.	A/D	30 sec.
CSAH 1/Heritage Drive ⁽¹⁾	B/F	90 sec.	A/E	35 sec.
LeSauk Drive/Twin Rivers Court North ⁽¹⁾	A/B	15 sec.	A/C	20 sec.
LeSauk Drive/Twin Rivers Court South ⁽¹⁾	A/B	10 sec.	A/B	10 sec.
Dehler Drive/Connecticut Avenue ⁽¹⁾	A/B	10 sec.	A/B	10 sec.

(1) Indicates an unsignalized intersection with side-street stop control, where the overall LOS is shown followed by the worst approach LOS. The delay shown represents the worst side-street approach delay.

Crash Analysis

Crash data was provided by MnDOT from January 1, 2010 through December 31, 2014, which represents the most recent five-year period available. Crashes reported over the analysis period are summarized by type in Table 3.

Table 3. Crash Type Summary

Intersection	Left Turn/ Right Angle	Rear End	Sideswipe	Head On	Other	Total
CSAH 1/LeSauk Drive	2	2	0	0	2	4
CSAH 1/Heritage Drive	2	9	0	0	2	13
LeSauk Drive/Twin Rivers Court North	2	2	0	0	0	4
LeSauk Drive/Twin Rivers Court South	1	1	0	0	0	2
Dehler Drive/Connecticut Avenue	0	0	0	0	0	0

Since multiple crashes occurred at the study intersections, a crash rate analysis was conducted to determine the statistical significance of the number of crashes. The crash rate for the study intersections were calculated and then compared to the typical crash rate for intersections with similar characteristics. Typical crash rates published by MnDOT were referenced for comparison purposes. The crash rates are per million entering vehicles (MEV). Table 4 summarizes the corresponding intersection crash rates.

Table 4. Intersection Crash Rate Summary

Intersection	Total Crashes	Intersection Crash Rate	Typical Crash Rate	Critical Crash Rate
CSAH 1/LeSauk Drive	4	0.11	0.30	0.47
CSAH 1/Heritage Drive	13	0.42	0.30	0.48
LeSauk Drive/Twin Rivers Court North	4	0.33	0.30	0.60
LeSauk Drive/Twin Rivers Court South	2	0.23	0.30	0.66
Dehler Drive/Connecticut Avenue	0	0.00	0.30	0.70

Results of the intersection crash rate analysis indicate that the calculated crash rates for intersections at the CSAH 1/Heritage Drive intersection and the LeSauk Drive/Twin Rivers Court North intersection are above the typical crash rates for intersections with similar characteristics. However, higher than typical crash rates do not necessarily indicate a significant crash problem. Therefore, the critical crash rate was calculated to determine the statistical significance of the above average crash rate. If the calculated intersection crash rate is below the calculated critical crash rate, crashes that occurred are likely due to the random nature of crashes and not necessarily a geometric design or traffic control issue. Conversely, if the intersection crash rate is above the critical crash rate, there are generally a significant number of crashes above normal to warrant further review or mitigation. None of the study intersection crash rates exceed the critical crash rate. Therefore, the study area does not appear to have an intersection crash issue.

Traffic Forecasts

Forecasted year 2040 daily traffic volumes were developed by the St. Cloud Area Planning Organizations (APO) using the regional travel demand model. The model includes socioeconomic forecasts, planned land uses, and planned roadway improvement projects. Roadway improvements over the next two years include closing the access at the CSAH 1/LeSauk Drive intersection to a right-in/right-out only, expanding CSAH 1 to an urban four-lane facility, and constructing a 19th Street extension between Amber Avenue South and LeSauk Drive.

The forecasted year 2040 daily traffic volumes were generated for each approach of the study intersections (see Figure 3). Based on the growth of the daily traffic volumes and the expected roadway access modifications, forecasted year 2040 turning movements were developed.

Future Year 2040 Conditions

Each alternative was analyzed to determine how the future roadway network will accommodate the year 2040 traffic forecasts. An intersection capacity analysis was completed using Synchro/SimTraffic software under year 2040 conditions and the four alternatives.

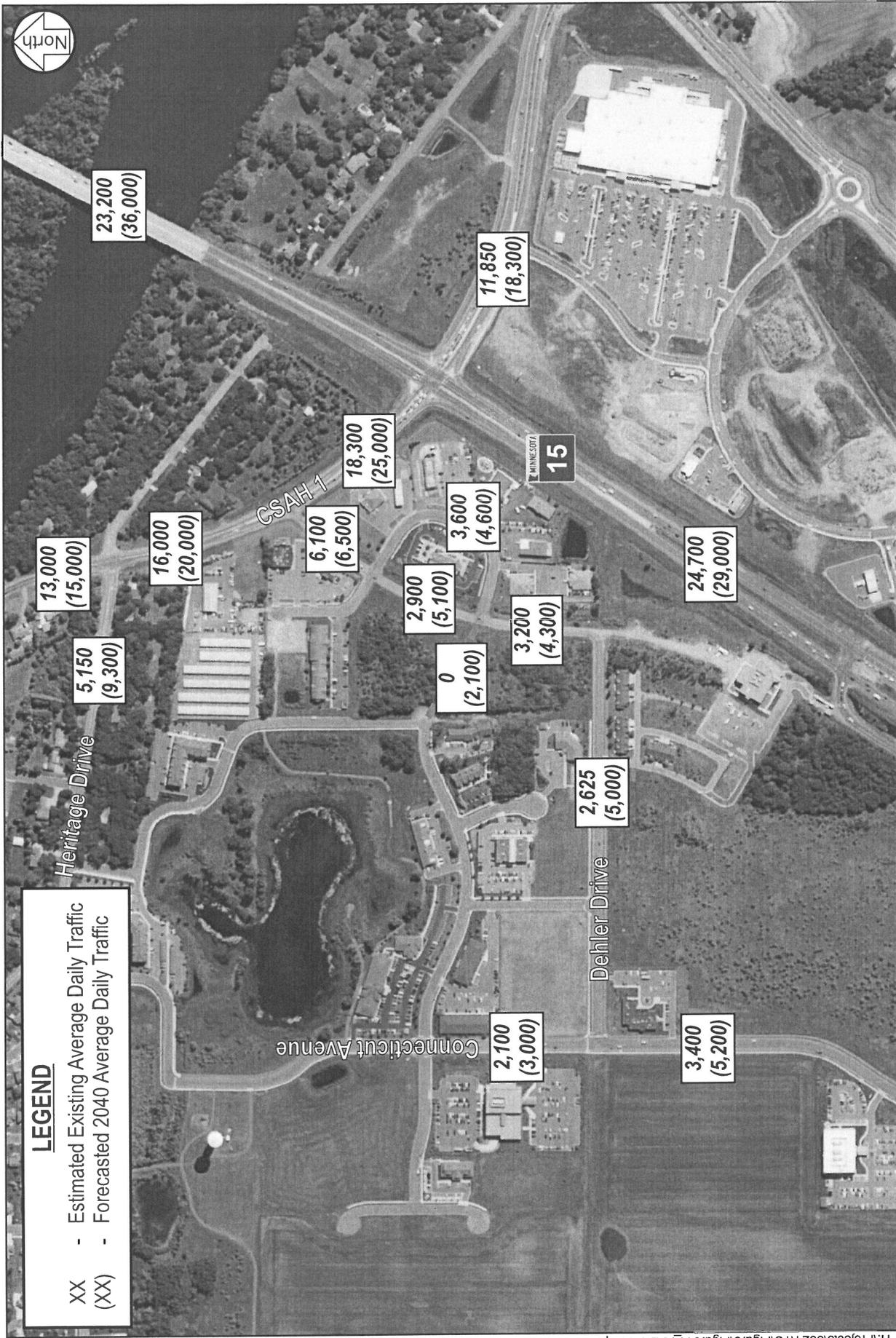


Figure 3

Alternative A Intersection Capacity Analysis (Year 2040)

“Alternative A” serves as the study’s “no build plus” alternative. The purpose of this alternative is to confirm that a minimalist approach to improving the LeSauk Drive Corridor and CSAH 1 area will result in unacceptable traffic operations.

- | | |
|----------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Alternative A
(No Build Plus) | <ul style="list-style-type: none"> • Four-lane CSAH 1 between TH 15 and LeSauk Drive • Maintain current access at CSAH 1 and LeSauk Drive • Intersection improvements at TH 15 and CSAH 1 |
|----------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

Figure 4 presents the “Alternative A” turning movement volumes and geometric conditions. Results of the intersection capacity analysis shown in Table 5 indicates that all study intersections operate at an overall acceptable LOS C or better during the a.m. and p.m. peak hours, except for the CSAH 1/Heritage Drive intersection. This intersection is expected to operate at an unacceptable overall LOS E during the a.m. and p.m. peak hours, with significant side-street queuing and delay. Similar to existing conditions, although the other intersections appear to operate with overall acceptable levels of service their extreme side-street delays and queues render them functionally inoperable on the side-street approaches. Queues from the adjacent TH 15/CSAH 1 intersection will extend back to and through the CSAH 1/LeSauk Drive intersection, thus restricting access from LeSauk Drive onto CSAH 1. Side-street queues and delays on LeSauk Drive are so significant that the Twin Rivers North intersection with LeSauk Drive will be blocked the majority of the peak hours under this condition.

Table 5. Alternative A Intersection Capacity Analysis (Year 2040)

Intersection	A.M. Peak		P.M. Peak	
	LOS	Delay	LOS	Delay
CSAH 1/LeSauk Drive ⁽¹⁾	B/F	80 sec.	C/F	115 sec.
CSAH 1/Heritage Drive ⁽¹⁾	E/F	> 3 min.	F/F	> 3 min.
LeSauk Drive/Twin Rivers Court North ⁽¹⁾	A/C	18 sec.	A/D	30 sec.
LeSauk Drive/Twin Rivers Court South ⁽¹⁾	A/C	15 sec.	A/C	15 sec.
Dehler Drive/Connecticut Avenue ⁽¹⁾	A/B	13 sec.	A/C	15 sec.

(1) Indicates an unsignalized intersection with side-street stop control, where the overall LOS is shown followed by the worst approach LOS. The delay shown represents the worst side-street approach delay.

The analysis results of the “Alternative A” condition underscore the need for additional access control and corridor/area improvements (i.e., restrict access at LeSauk Drive to CSAH 1, extend CSAH 1 four-lane facility, improved traffic control).

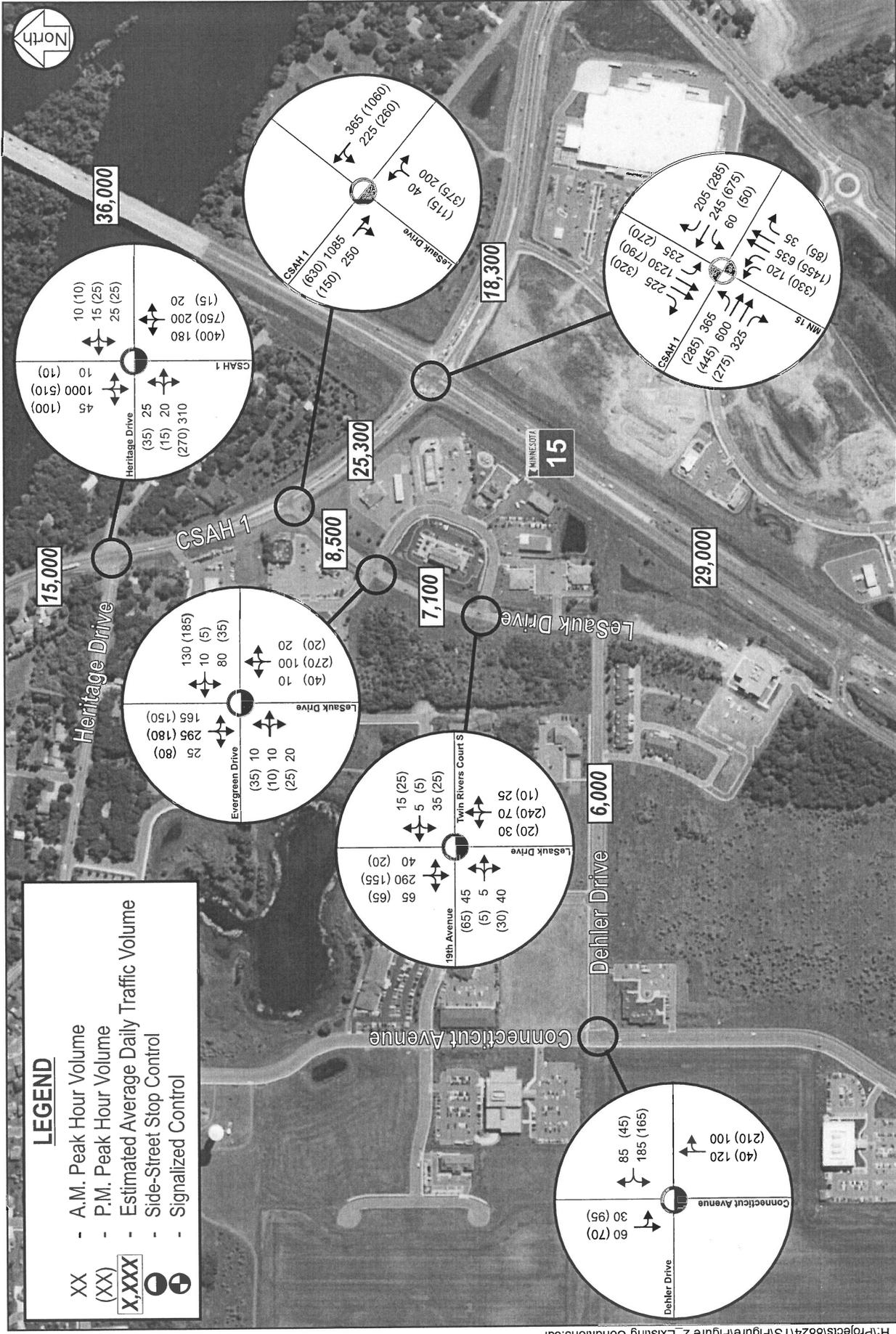


Figure 4

Year 2040 Alternative A Conditions

LeSauk Drive Corridor Study

St. Cloud Area Planning Organization and City of Sartell

SRE Consulting Group, Inc. 00156824 May 2015

H:\Projects\8824\TSV\Figure\Figure 2, Existing Conditions.cdr

Alternative B Intersection Capacity Analysis (Year 2040)

“Alternative B” was developed to understand the potential mitigation factors relative to an expanded CSAH 1 facility and restricted access at CSAH 1 and LeSauk Drive.

Alternative B (Base Scenario - Planned Improvements)

- Right-in/right-out at CSAH 1 and LeSauk Drive
- Four-lane CSAH 1 between TH 15 and Heritage Drive
- Intersection improvements at TH 15 and CSAH 1

Figure 5 presents the “Alternative B” turning movement volumes and geometric conditions. Results of the intersection capacity analysis shown in Table 6 indicates that all study intersections operate at an overall acceptable LOS A during the a.m. and p.m. peak hours, except for the CSAH 1/Heritage Drive intersection. This intersection is expected to operate at an unacceptable overall LOS F during the a.m. and p.m. peak hours, with significant side-street queuing and delay. In addition, the queuing and delay analysis of the CSAH 1/LeSauk Drive intersection indicates periodic blocking of the Twin Rivers North intersection (roughly 5-10% of the peak hour or three to six minutes). This blockage is not considered excessive given the traffic volumes forecast under this condition.

Table 6. Alternative B Intersection Capacity Analysis (Year 2040)

Intersection	A.M. Peak		P.M. Peak	
	LOS	Delay	LOS	Delay
CSAH 1/LeSauk Drive ⁽¹⁾	A/D	32 sec.	A/D	30 sec.
CSAH 1/Heritage Drive ⁽¹⁾	F/F	> 3 min.	F/F	> 3 min.
LeSauk Drive/Twin Rivers Court North ⁽¹⁾	A/B	13 sec.	A/C	18 sec.
LeSauk Drive/Twin Rivers Court South ⁽¹⁾	A/B	13 sec.	A/B	13 sec.
Dehler Drive/Connecticut Avenue ⁽¹⁾	A/B	13 sec.	A/C	15 sec.

(1) Indicates an unsignalized intersection with side-street stop control, where the overall LOS is shown followed by the worst approach LOS. The delay shown represents the worst side-street approach delay.

The analysis results of the “Alternative B” condition indicate that the operational issues identified at the CSAH 1/LeSauk Drive intersection can be mitigated with access restriction at this location. The side street LOS D reported at this location is not considered significant. The operational issues still persist at the CSAH 1/Heritage Drive intersection. Further improvement is needed at this location to mitigate its issues. “Alternative C” and “D” review additional improvements at this intersection, amongst other system improvements.

Alternative C Intersection Capacity Analysis (Year 2040)

“Alternative C” is a derivative of “Alternative B;” it was developed with access control and system circulation in mind. Restricting access at the CSAH 1/LeSauk Drive intersection to right-in/right-out, neither allows left-in’s or left-outs from this access. The left-turning vehicles that are destined

for LeSauk Drive would have the opportunity to make a U-turn maneuver at the CSAH 1/Heritage Drive intersection. This U-turn maneuver could occur at either a traffic signal or roundabout controlled intersection (given that traffic control improvement is necessary to mitigate operational issues at this location). Based on a review of the adjacent transportation system, the implementation of roundabouts as a traffic control device is typical. That coupled together with the desire to accommodate U-turning vehicles, “Alternative C” includes a roundabout at CSAH 1/Heritage Drive.

- | | | |
|----------------------------------------|--|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Alternative C (Four-Legged Roundabout) | | <ul style="list-style-type: none">• Base Scenario conditions, plus• Roundabout at CSAH 1 and Heritage Drive• 19th Street Extension (between Amber Avenue South and LeSauk Drive) |
|----------------------------------------|--|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

The 19th Street extension between Amber Avenue South and LeSauk Drive will help provide additional alternatives for vehicles exiting the area to the north. Figure 6 presents the turning movements relative to this alternative and its system configuration.

It is understood that all key intersections will operate with similar results reported under “Alternative B” conditions, except for the CSAH 1/Heritage Drive intersection. This intersection was again analyzed; however, this time it was analyzed using VISSIM software to fully understand how it would function. VISSIM is a micro-simulation software tool that most appropriately assesses how roundabouts will operate. The CSAH 1/Heritage Drive intersection is expected to operate at a LOS B, or better during the a.m. and p.m. peak hours, with minor queuing in the eastbound direction during the a.m. peak hour and northbound direction during the p.m. peak hour. The roundabout was modeled as a two by one design (two lanes in the north-south direction and one lane in the east-west direction). This results in a hybrid multilane roundabout design.

Alternative D Intersection Capacity Analysis (Year 2040)

“Alternative D” builds upon the roundabout concept at CSAH 1/Heritage Drive by adding a fifth leg to the intersection. The fifth leg represents a desire by the business community to provide direct access into the LeSauk Drive business park/commercial area. The fifth leg of the roundabout would enter the intersection between the Heritage Drive and CSAH 1 legs of the intersection.

- | | | |
|----------------------------------------|--|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Alternative D (Five-Legged Roundabout) | | <ul style="list-style-type: none">• Base Scenario• Roundabout at CSAH 1 and Heritage Drive• 19th Street Extension (between Amber Avenue South and LeSauk Drive)• Evergreen Drive extension connecting to the roundabout (fifth leg) at CSAH 1 and Heritage Drive |
|----------------------------------------|--|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

The fifth leg of the roundabout would serve approximately 50 to 115 vehicles during the a.m. and p.m. peak hours, respectively. Figure 6 presents the turning movements relative to this alternative and its system configuration. In order to achieve proper spacing between the eastbound and

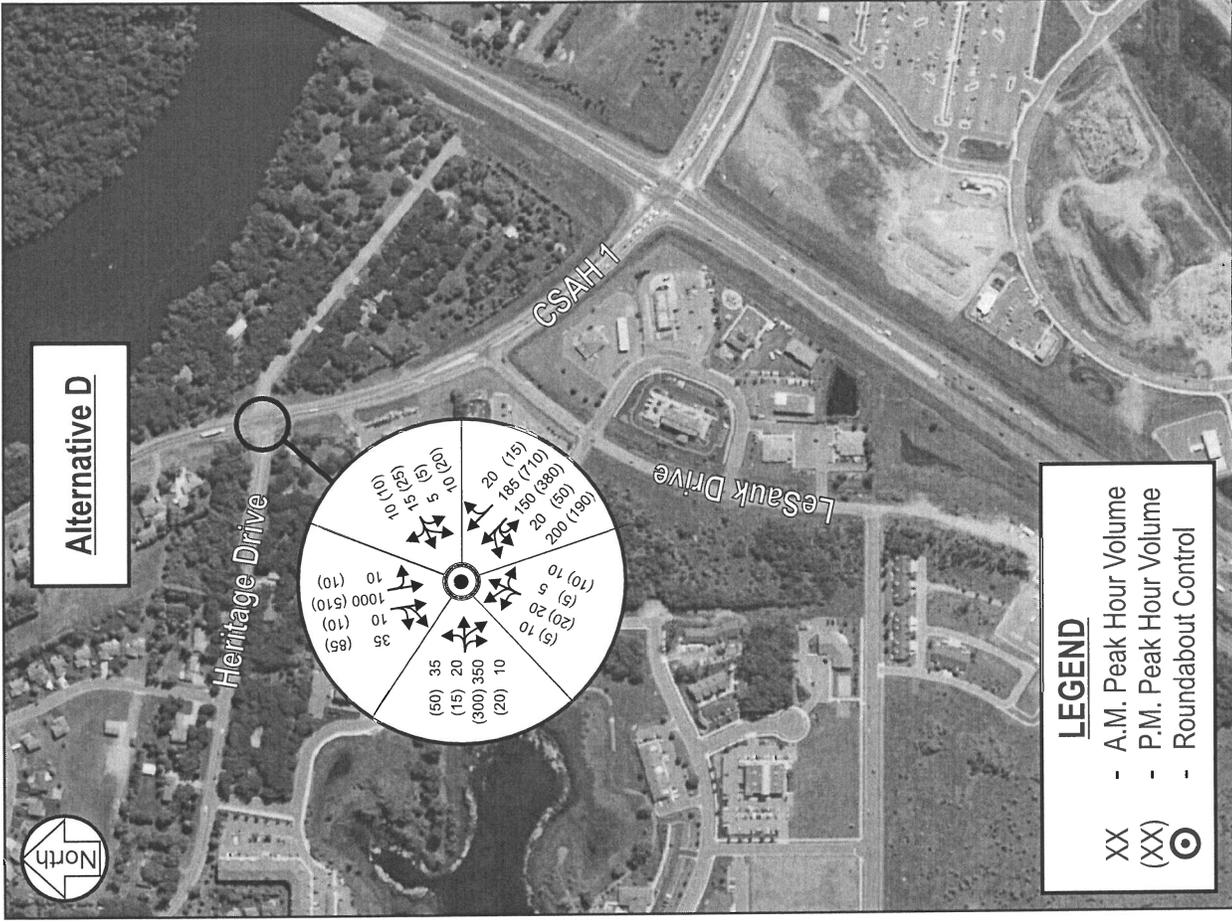
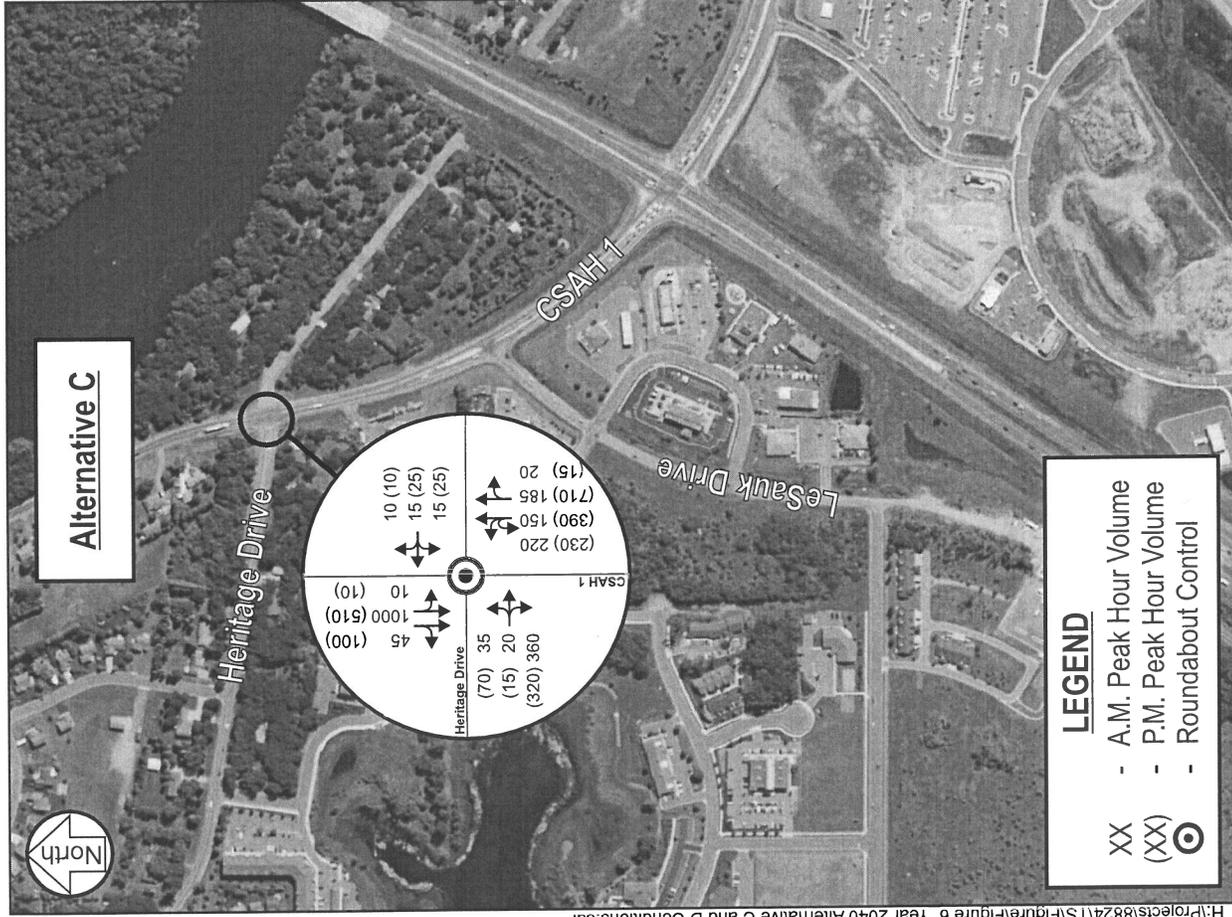


Figure 6

northbound legs of a typical roundabout the diameter of this five-legged roundabout would need to be expanded (requiring additional right-of-way acquisition). Further, the fifth leg will require additional right-of-way to connect it to the intersection impacting existing businesses between the intersection, Evergreen Drive, and LeSauk Drive. With this configuration the CSAH 1/Heritage Drive intersection is expected to operate at a LOS B, or better during the a.m. and p.m. peak hours, with minor queuing in the eastbound direction during the a.m. peak hour and northbound direction during the p.m. peak hour.

Although the five-legged roundabout can adequately accommodate forecasted traffic volumes, this configuration is not ideal where driver expectancy and anticipated interaction are concerned.

Summary and Conclusions

The following study conclusions and recommendations are offered for consideration:

- Results of the existing intersection capacity shows that all study intersections operate at an overall acceptable LOS B or better during the a.m. and p.m. peak hours. However, significant side-street delay was observed at multiple locations within the study area during these time periods.
 - During the a.m. peak hour motorists experience approximately 50 seconds and 90 seconds of delay on average at the eastbound and westbound approaches to the CSAH 1/Heritage Drive intersection.
 - Queuing at the CSAH 1/Heritage Drive intersection was observed to extend approximately 625 feet to the west for the eastbound approach during the a.m. peak hour. In addition to the side-street approaches of this intersection experiencing significant delay, the northbound left-turn and through movements also experience delay. The queues extend approximately 350 feet to the south during the p.m. peak hour. These queues are a result of left-turning vehicles blocking through vehicles from proceeding through the intersection.
 - The CSAH 1/LeSauk Drive intersection also experienced heavy side-street delay. On average, vehicles in the eastbound direction along LeSauk Drive experienced approximately 30 seconds of delay, with queues extending back 225 feet and 325 feet during the a.m. and p.m. peak hours, respectively. This is the result of a lack of gaps for left-turning vehicles onto CSAH 1.
- None of the study intersection crash rates exceed the critical crash rate.
- Alternative A (No Build Plus) - Study intersections operate at an overall acceptable LOS C or better during the a.m. and p.m. peak hours, except for the CSAH 1/Heritage Drive intersection. This intersection is expected to operate at an unacceptable overall LOS E during the a.m. and p.m. peak hours, with significant side-street queuing and delay. Similar to existing conditions, although the other intersections appear to operate with overall acceptable levels of service their extreme side-street delays and queues render them functionally inoperable on the side-street approaches.

- Queues from the adjacent TH 15/CSAH 1 intersection will extend back to and through the CSAH 1/LeSauk Drive intersection, thus restricting access from LeSauk Drive onto CSAH 1. Side-street queues and delays on LeSauk Drive are so significant that the Twin Rivers North intersection with LeSauk Drive will be blocked the majority of the peak hours under this condition.
- The analysis results of the “Alternative A” condition underscore the need for additional access control and corridor/area improvements (i.e., restrict access at LeSauk Drive to CSAH 1, extend CSAH 1 four-lane facility, improved traffic control).
- Alternative B (Base Improvements) – Study intersections operate at an overall acceptable LOS A during the a.m. and p.m. peak hours, except for the CSAH 1/Heritage Drive intersection. This intersection is expected to operate at an unacceptable overall LOS F during the a.m. and p.m. peak hours, with significant side-street queuing and delay.
 - The queuing and delay analysis of the CSAH 1/LeSauk Drive intersection indicates periodic blocking of the Twin Rivers North intersection (roughly 5-10% of the peak hour or three to six minutes). This blockage is not considered excessive given the traffic volumes forecast under this condition.
 - The analysis results of the “Alternative B” condition indicate that the operational issues identified at the CSAH 1/LeSauk Drive intersection can be mitigated with access restriction at this location. The operational issues still persist at the CSAH 1/Heritage Drive intersection. Further improvement is needed at this location to mitigate its issues.
- Alternative C (Four-Legged Roundabout) - All key intersections will operate with similar results reported under “Alternative B” conditions, except for the CSAH 1/Heritage Drive intersection.
 - The CSAH 1/Heritage Drive intersection is expected to operate at a LOS B, or better during the a.m. and p.m. peak hours, with minor queuing in the eastbound direction during the a.m. peak hour and northbound direction during the p.m. peak hour.
- Alternative D (Five-Legged Roundabout) - The fifth leg of the roundabout would serve approximately 50 to 115 vehicles during the a.m. and p.m. peak hours, respectively. The CSAH 1/Heritage Drive intersection is expected to operate at a LOS B, or better during the a.m. and p.m. peak hours, with minor queuing in the eastbound direction during the a.m. peak hour and northbound direction during the p.m. peak hour.
 - Although the five-legged roundabout can adequately accommodate forecasted traffic volumes, this configuration is not ideal where driver expectancy and anticipated interaction are concerned.



City Administrator's Report

July 13, 2015

Financials: The monthly investment and fund balance reports are attached and current year capital project status is as follows:

<u>Project</u>	<u>Budget/Source</u>	<u>Status</u>
Sewer Jet Vac	Sewer Fund	Approved 2/9/15
Fire Department air van	Fire Equip Fund	
FD Thermal Imagers	Fire Equip Fund	Approved 11/24/14
FD Light Tower	Fire Equip Fund	Approved 1/26/15
FD chargers/dummies	Fire ops budget	Approved 2/9/15
FD Equip Trailer	Fire Equip Fund	
FD Electric Fan & Tube	Fire Equip Fund	Approved 1/26/15
Cat loader	PW Equip Fund	Approved 9/8/14
Brushcutter&Auger	PW Equip Fund	Request dropped by Dept
Bobcat&attachments	Water/Sewer Funds	Approved 1/26/15
Fork Lift & Leaf Vac	PW Equip Fund	Approved 1/26/15
PD Tasers	Police Equip Fund	Approved 12/14
Leak Survey	Water Fund	
Lift Station #6 & #3	SAC Fund	#6 approved 3.23.15
PD Vehicle Rotation	PD Equip Fund	Approved 1/12/15
Lions Park Trees	Regional Park Fund	
PW Pickup	Water/Sewer Fund	Approved 3/9/15
Trail sealcoats	Beautification Fund	
Toro & Mower rotations	Beautification Fund	Approved 2/9/15
Routine Computer Rotations	Tech Fund	Approved 1/12/15

Goals Update:

- **Purchase land for Town Square and start working with developers on town square:** Proposal for phase 1 improvements is being developed as public-private partnership for Council consideration, likely at your August meeting.
- **Sauk River Park:** State required archaeological survey and property appraisal completed. Staff will be working with the State and property owners on next steps.
- **Pinecone Regional Park:** Engineering proposal approved on 6.8.15 with anticipated delivery date of report in September.
- **Re-evaluate the role of the Park Commission and its relationship to the City Council and staff:** Commission's recommendations are on tonight's agenda and a second round of review/recommendations will take place this Fall. This item will be removed from future reports.
- **Community Center:** Discussion is on tonight's agenda.

2015 Grant Updates: (new this month shown in bold):

Pending applications:

BNSF grant for dog park (started by Vela and completed by dog park volunteer)

Otto Bremer Foundation for Neighborhood Matching Fund

Walmart for Neighborhood Matching Fund

Town Square and Community Center are both in research phase for opportunities that may fit either one with regard to both grants and private fundraising

Applications Funded:

Central MN Arts Board – 2015 Music in the Park grant

PD Programs – Instead of annual grant applications, Vela Strategies recommended and helped us develop an outreach to try to get long term sponsors for PD program sponsors. To date, we have achieved sponsors for Cookout with Cops, PAL, Teen PAL, GREAT, and a sponsor for DARE is in process.

Sam's - \$2,000 toward Neighborhood Matching Fund

Applications submitted but not approved:

Morgan Family Foundation for Neighborhood Matching Fund

		5/31/2015
Fund #	Fund Name	Cash Balance
101	General Fund	\$1,018,720.61
102	Gang Strike Force Fund	(\$80.14)
211	Park Improvement Fund	\$6,950.04
212	Youth Programs Fund	\$7,647.59
214	DUI Forfeiture Fund	\$26,481.09
215	Special Initiatives Fund	\$14,819.88
217	Police Reserves Fund	\$2,432.59
221	Beautification Fund	\$32,830.24
222	Forfeiture Fund	\$9,169.55
223	Lodging Tax Fund	\$3,319.52
224	Economic Development Fund	\$21,182.68
225	Sewer Capacity Fund	\$175,677.64
226	Water Capacity Fund	\$254,104.03
227	PEG Access Fees Fund	\$64,041.70
229	Trunk Water Fund	\$54,925.59
230	Trunk Storm Fund	\$159,933.16
231	Trunk Sewer Fund	\$36,839.51
241	Local Sales Tax Fund (2007+)	(\$20,471.74)
250	Cemetery Fund	\$31,217.13
260	Regional Park Fund	\$31,696.27
261	Park District 1	\$78,908.01
262	Park District 2	\$70,365.33
263	Park District 3	\$35,902.08
264	Park District 4	\$991.66
265	Park District 5	\$44,272.55
266	Park District 6	\$68,398.32
267	Golf Course Park Fund	\$1,846.77
319	GO Water Bonds 2008B	(\$44,859.44)
320	GO Utility Bonds 2009A	(\$89,547.62)
321	CIP Bonds 2009B	(\$109,080.80)
324	GO Bonds 2009E	\$851,328.86
325	GO Bonds 2010A	\$1,209,415.50
326	Sewer share of 2010B Refunding Bonds	(\$113,057.79)
327	MSA share of 2010B Refunding Bonds	\$142,114.29
328	Water share 2010B Refunding Bonds	(\$235,922.34)
329	2012A GO BONDS	\$9,930.24
330	2012A Bonds - refunds 312	(\$42,622.78)
331	2012A Bonds - refunds 315	(\$113,951.25)
332	2012 A Bonds - refund 316	\$192,031.51
333	2012A Bonds - refunds 318	\$304,373.59
334	2014A Bonds	\$1,032,621.37
402	Public Improvement Revolving Fund	\$1,063,287.14
405	MSA Street Maintenance Fund	\$81,960.31
410	Building Fund	(\$19,682.65)
412	PD Equipment Fund	(\$64,194.50)
413	FD Equipment Fund	\$80,081.84
414	PW Equipment Fund	(\$234,268.83)
415	Technology Fund	(\$25,146.30)
416	Emergency Management Fund	(\$2,189.82)
417	Street Improvement Fund	\$125,369.19

441	Pheasant Crest TIF District 5-2	\$8,110.39
444	Reker TIF District 5-4	(\$298.41)
445	Burl Oaks TIF District 5-5	(\$658.92)
601	Water Fund	\$1,202,080.92
602	Sewer Fund	\$460,782.65
603	Storm Fund	\$135,785.11
TOTALS		\$8,035,913.12

CITY OF SARTELL						
INVESTMENTS						
5/31/2015						
CASH HOLDINGS						
	INVESTMENT	INT RATE	TERM	MATURITY DATE	COST VALUE	PAID EARNINGS
	4M Plus	variable			\$950,400.44	\$37.20
	Subtotal 4M Plus				\$950,400.44	\$37.20
	US Bank/4M Checking	variable			\$1,378,506.37	\$16.63
	Subtotal US Bank/4M Checking				\$1,378,506.37	\$16.63
	Bank Vista Money Market	0.50%			\$240,313.88	\$85.89
	Subtotal Bank Vista Accts.				\$240,313.88	\$85.89
	Great River Federal - Share Account				\$5.00	\$0.00
	Beacon Bank	0.42%			\$500,574.38	\$177.54
	Subtotal Beacon Accts.				\$500,574.38	\$177.54
	Citizens Community Money Market				\$240,988.91	\$114.83
	Subtotal CCF Accts.				\$240,988.91	\$114.83
	TD Ameritrade				\$257,606.16	\$0.40
	Subtotal TD Ameritrade				\$257,606.16	\$0.40
	Totals & Average rate:				\$3,568,395.14	\$432.49
					44.41%	
INVESTMENTS						
PURCHASE DATE	INVESTMENT	INT RATE	TERM	MATURITY DATE	CURRENT VALUE	PAID EARNINGS
01/12/15	CD - Great River Federal Credit Union	0.45%	1 year	01/12/16	\$248,000.00	
05/01/15	CD - St. Cloud Federal Credit Union	0.55%	1 year	05/01/16	\$248,000.00	1367.46
06/14/14	CD - Sentry Bank, St. Joseph	0.45%	1 year	06/14/15	\$248,000.00	
10/01/13	CD - Liberty Bank	0.70%	3 yrs	10/01/16	\$248,000.00	
12/26/14	CD - Plaza Park Bank, Sartell	0.40%	1 YR	12/26/15	\$248,200.74	
	Subtotal Local Banks	0.51%			\$1,240,200.74	\$1,367.46
05/26/13	CD - BMW Bank, Salt Lake City	0.45%	2 YR	05/26/15	MATURED	\$561.78
10/24/14	CD - DMB Comm Bank	0.70%	9 mos	07/24/15	\$249,000.00	
07/27/13	CD - American Express Centurion	0.70%	2 YR	07/27/15	\$249,000.00	
03/26/14	CD - Bank of China, NY	0.35%	18 mos	09/28/15	\$249,000.00	
01/29/14	CD - Compass Bank, Birmingham AL	0.50%	2 YR	01/29/16	\$249,000.00	
05/24/13	CD - GE Capital, Salt Lake City	0.70%	3 YR	05/24/16	\$249,000.00	\$864.34
10/31/14	CD - Ally Bank Midvale UT	1.00%	2 YR	10/31/16	\$247,773.79	
01/15/14	CD - Goldman Sachs NY	1.00%	3 YR	01/17/17	\$248,000.00	
01/17/14	CD - Bank of Baroda, NY	1.00%	3 YR	01/17/17	\$248,000.00	
01/23/14	CD - Mid MO Bank, Springfield	0.85%	3 YR	01/23/17	\$249,000.00	\$173.96
05/13/14	CD - Barclays Bank DEL	1.10%	3 YR	05/15/17	\$248,000.00	\$1,352.79
08/14/14	CD - American Express UT	1.25%	3 YR	08/14/17	\$248,000.00	
10/01/14	CD - Discover Bank	2.15%	5 YR	10/01/19	\$246,826.20	
10/15/14	CD - Sallie Mae Bank	2.15%	5 YR	10/15/19	\$246,717.25	
	Subtotal TD Ameritrade	0.99%			\$3,227,317.24	\$2,952.87
	Total CDs & Average rate:	0.99%			\$4,467,517.98	\$4,320.33
					55.59%	
	TOTAL EARNINGS PAID:	\$4,752.82				
		\$8,035,913.12				
TOTAL CURRENT ACCOUNTS/INVESTMENTS:						
	Bank Vista	\$240,313.88				
	TD Ameritrade	\$3,484,923.40				
	Beacon Bank	\$500,574.38				
	CCF	\$240,988.91				
	Local Bank CDs & Share	\$1,240,205.74				
	4M Check	\$1,378,506.37				
	4M Plus	\$950,400.44				
	TOTAL	\$8,035,913.12				



July 2015

SUN	MON	TUE	WED	THU	FRI	SAT
			1	2	3 Holiday City Hall Closed	4
5	6 12:30 p.m. SSC Bd. Mtg. @ SSC Ctr. 6:30 Planning Mtg.	7	8	9 5 pm APO Exec Bd	10	11
12	13 6 PM CITY COUNCIL MTG	14 11:30 -CHAMBER @ The Waters Church 7:15 PM Joint Plan Board At Town Hall	15 9 A.M SALT @ PD	16 4:30—6:30 LeSauk Drive Open House Resource Training And Solutions.	17	18
19	20	21 4 PM METRO BUS BD. MTG. 7 AM EDC MTG.	22	23	24	25
26	27	28	29	30	31	



August 2015

SUN	MON	TUE	WED	THU	FRI	SAT
						1
2	3 12:30 pm SSC Bd. Mtg @ SSC Ctr. 6:30 PM PLANNING MTG.	4	5	6	7	8
9	10 6 pm Council Mtg.	11 11:30—CHAMBER @ THE WATERS CHURCH	12	13 5 pm APO Exec Bd	14	15
16	17	18 7AM EDC MTG. 4 PM METRO BUS BD. MTG	19 9AM SALT @ PD	20	21	22
23	24	25 5:30 p.m. AREA CITIES MTG AT ST. JOE	26	27 Cook -out with Cops ST. Fran- cis Church	28	29
30	31					